

CITY OF FORT MYERS
PARKING REVIEW

Project #14536

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CITY OF FORT MYERS
PARKING REVIEW

Introduction

David Plummer and Associates, Inc. (DPA) was retained by the City of Fort Myers to review the parking requirements of the City's Land Development Code (LDC), identify areas appropriate for change, and suggest revisions to the parking requirements.

The parking review and evaluation focused on the following.

1. Off – Street Parking Dimensions – This task reviewed the off-street parking dimensions included in the LDC and, in particular, parking stall width and length, and aisle width. The review included dimensions for compact vehicles.

2. Off-Street Parking Space Requirements - Parking space requirements are a regulatory tool intended to ensure that the particular development provide sufficient parking to meet the anticipated demand. This task evaluated the minimum amount of parking required, based on the type and size of the land use categories included in the LDC. The Downtown Smart Code, which addresses the parking requirements specific to the high density areas of the City, was also reviewed.

3. Parking in Residential Areas - The current LDC prohibits the parking of vehicles on residential streets. In response to community comments, this task reviewed the on-street parking issues and provided recommendations for the treatment of on-street parking in residential areas. The review also included the parking of commercial vehicles in residential areas.

1. Off-Street Parking Dimensions

This task evaluated the off-street parking dimensions in Chapter 134 – Traffic Circulation and Parking of the LDC. All required parking dimensions in the Code were reviewed. However, the specific area of concern was the current minimum parking stall width and whether it may be excessive as compared to other jurisdictions and current professional practices.

The City’s parking dimensions were reviewed and compared to the dimensions of other jurisdictions in the State of Florida. The municipalities and counties that were selected for comparison included the following:

- City of Cape Coral
- City of Coral Gables
- City of Miami
- City of Naples
- City of Sarasota
- City of Tampa
- Lee County
- Miami-Dade County

The selected jurisdictions offered a broad comparison of parking codes in South Florida, Appendix A. In addition to the jurisdictions listed above, the Urban Land Institute’s (ULI), Dimensions of Parking, was also reviewed for consistency with acceptable professional practice.

Current City of Fort Myers Dimensions

The City of Fort Myers off-street parking code is found in Chapter 134 – Traffic Circulation and Parking, Article 3. Off-Street Parking and Loading. The minimum dimensions of the parking stall are expressed in width, length, aisle width and handicap dimensions under Section 134.3.3, as presented below.

Current Parking Stall and Aisle Dimensions ⁽¹⁾			
Aisle to Stall Angle	Stall Width	Stall Length	Aisle Width
90°	10'0"	18'0"	24'0" ⁽²⁾
60°	10'0"	18'0"	17'0" ⁽³⁾
45°	10'0"	18'0"	12'6" ⁽³⁾
Parallel	8'0"	22'0"	22'0" ⁽²⁾
Handicap Parking	12'0"	18'0"	5'

Footnotes:

- (1) City of Fort Myers LDC, Section 134.3.3.
- (2) Two-way.
- (3) One-way.

Comparison of Dimensions

The comparison of the parking dimensions of the City of Fort Myers and the surveyed jurisdictions is summarized in Exhibits 1 and 2 and discussed below.

Stall Widths

a) Standard Parking

The minimum stall width required by the City of Fort Myers is typically 10.0 feet for standard vehicles. In comparison, the surveyed jurisdictions fall in the range of 8.5 feet to 9.0 feet (Exhibit 1). The City of Cape Coral and Lee County have adopted minimum widths of 9.0 feet. The ULI recommends minimum stall widths of no more than 9.0 feet. The current City of Fort Myers requirement of 10.0 feet exceeds the minimum widths of the surveyed jurisdictions and ULI professional standards.

b) Handicap Parking Space

Handicap vehicle stall widths are a minimum of 12.0 feet in the City of Fort Myers, consistent with the jurisdictions surveyed and consistent with the Florida Building Code. Although the Americans with Disabilities Act (ADA) requires a width of 8.0 feet for the handicap “car” parking space and 11.0 feet (8.0 feet with parking space access aisle of 8.0 feet) for handicap “van” parking space, the Florida Building Code exceeds the ADA standards with a required minimum of 12.0 feet in width (Appendix B).

c) Compact Parking

Compact vehicle parking is not addressed in the City of Fort Myers LDC. While there are a number of on-street parking spaces provided in the downtown marked for “Compact Vehicle Only”, the widths of these spaces range between 9.8 feet to 10.8 feet.

In comparison, the City of Tampa and Miami-Dade County both have minimum stall width requirements for compact vehicles set at 7.5 feet and 8.0 feet respectively. It should be noted that the remaining jurisdictions from the survey list do not report compact vehicle parking dimensions.

Stall Lengths

a) Standard Parking

The minimum stall length for standard vehicles in the City of Fort Myers LDC is 18.0 feet, consistent with the typical requirements of the jurisdictions surveyed, Exhibit 1.

b) Handicap Parking

The minimum stall length for handicap vehicles in the City of Fort Myers LDC is 18.0 feet. There are no minimum required lengths for handicap stalls specified in the Florida Building Code or in the ADA parking standards. However, the minimum handicap parking stall length of 18.0 feet was consistent with the jurisdictions surveyed.

c) Compact Parking

The City of Fort Myers does not address compact vehicles parking in the LDC. The City of Tampa requires a minimum of 16.0 feet while Miami-Dade County requires a minimum length of 15.0 feet for compact vehicle parking spaces. No other jurisdictions on the survey list have adopted compact car parking dimensions.

Parking Aisle Widths

The comparison of minimum aisle widths between the City of Fort Myers and the surveyed jurisdictions are summarized in Exhibit 2. In general, the required aisle widths narrow as the angle of the parking stall decreases.

a) Standard Parking

The City of Fort Myers two-way aisle width for standard vehicle parking at 90° is 24.0 feet. This is the same two-way minimum aisle width established by four of eight surveyed jurisdictions, while the other four jurisdictions have minimum requirements of between 22.0 feet and 23.0 feet.

The City of Fort Myers minimum required aisle width of 17.0 feet for 60° parking falls within the range of 13.0 feet to 20.0 feet aisle width requirements set by the surveyed jurisdictions. In comparison to the City of Cape Coral and Lee County, the City of Fort Myers' minimum requirement is 2 feet and 1 foot narrower than those jurisdictions, respectively.

The City of Fort Myers minimum required aisle width of 12.5 feet for 45° parking is comparable with the range of 10.8 feet to 13.0 feet requirements of the jurisdictions surveyed.

The City of Fort Myers minimum required aisle width of 22.0 feet (two-way aisle) for parallel parking is comparable to the range of 20.0 feet to 24.0 feet as required by the surveyed jurisdictions.

In general, the parking aisle dimensions for standard size vehicles adopted by the City of Fort Myers are comparable to the surveyed jurisdictions.

b) Handicap Parking

No minimum aisle width for handicap stalls is specified in the Florida Building Code or in the ADA parking standards.

The City of Fort Myers parking code requires a minimum aisle width of 5.0 feet. This requirement is not explained in the LDC but appears to reference the minimum “Parking Space Access Aisle” of the ADA parking requirements (Appendix B). The ADA access aisle refers to the space located on either side of the handicap parking stall for passenger loading/unloading as opposed to the aisle width dimensions for vehicular maneuvering.

c) Compact Parking

The City of Fort Myers does not address compact vehicles parking in the LDC. For compact vehicles, the City of Tampa and Miami-Dade County require the same minimum aisle dimensions as standard vehicles. No other jurisdictions on the survey list have adopted compact vehicle parking dimensions.

Compact Parking Space Percentage

Compact vehicle parking is not addressed in The City of Fort Myers LDC. The parking review discovered that six of the eight surveyed jurisdictions do not address compact vehicle parking.

Of the two jurisdictions that have included compact parking in their parking code, the City of Tampa allows up to sixty-five (65) percent of the required spaces to be compact. In addition, compact parking may be provided for up to one hundred (100) percent of the spaces in excess of the required number of spaces. In Miami-Dade County, the maximum compact space allowance is thirty-five (35) percent for facilities of twenty-five (25) to fifty (50) spaces, forty (40) percent for facilities of fifty-one (51) to two hundred fifty (250) spaces, and forty-five (45) percent for facilities of two hundred fifty-one (251) or more spaces. Furthermore, there are jurisdictions in the State of Florida, for example, allow maximum compact parking space percentages of twenty-five (25) percent or less, regardless of the total number of required spaces.

There are issues associated with allowing both standard size and compact parking spaces. For example, it is difficult to identify “compact vehicles” within the overall vehicle population. Most drivers do not know the size classification of their vehicles. Also, most drivers select the first parking space available, regardless of the vehicle size or stall size. Violation of compact spaces by larger vehicles results in encroachment onto adjacent spaces or aisle space that could impede traffic circulation. The use of spaces designated for compact vehicle use is best served in parking structures, in the odd locations where a standard size stall would not fit. The Urban Land Institute suggests the use of “one size fits all” dimensions.

Recommendations

Based on the review of the parking dimensions, suggestions for code revisions are as follows.

1. It is recommended that the standard parking stall width revised from the current width of 10.0 feet to 9.0 feet for 90° and all angled parking stalls.

2. A note should be added to the handicap parking aisle width requirement to indicate that the required 5.0 foot width refers to the ADA’s “Parking Space Access Aisle” and not the aisle width for vehicular maneuvering.
3. The designation of compact parking spaces is not recommended.
4. If the City does consider the designation of compact parking spaces, a minimum stall width of 8.0 feet and stall length of 16.0 feet is recommended. It is also recommended that the parallel parking stall length and all aisle widths be maintained to be the same as those designated for standard parking spaces.

Potential Stall and Aisle Dimensions for Compact Vehicles			
Aisle to Stall Angle	Stall Width	Stall Length	Aisle Width ⁽¹⁾
90°	8'0"	16'0"	24'0" ⁽²⁾
60°	8'0"	16'0"	17'0" ⁽³⁾
45°	8'0"	16'0"	12'6" ⁽³⁾
Parallel	8'0"	22'0" ⁽¹⁾	22'0" ⁽²⁾

Footnotes:

- (1) Same as standard parking space.
- (2) Two-way.
- (3) One-way.

5. If the City does consider the designation of compact parking, the recommended maximum compact parking spaces as a percentage of total required spaces are as follows.

Potential Compact Parking Allowance		
Number of Total Required Spaces	Maximum Compact Parking Allowed	Maximum Number of Compact Spaces ⁽¹⁾
< 25	10%	3
25 – 50	15%	4 – 8
51 – 250	20%	10 - 50
> 250	25%	> 63
Excess	100%	All parking spaces beyond minimum requirement

Footnote:

- (1) All compact vehicle spaces must be prominently marked and posted.



2. Off-Street Parking Space Requirements

This task evaluated the off-street parking space requirements for various types and sizes of land uses. The following City of Fort Myers parking requirements were reviewed.

1. Land Use, Chapter 134 – Traffic Circulation and Parking, Article 3. Off-Street Parking and Loading, Section 134.3.5 – Minimum Number of Off-street Parking Spaces.
2. Handicap Parking, Chapter 134 – Traffic Circulation and Parking, Article 3. Off-Street Parking and Loading, Section 134.3.2 – Handicapped Parking.
3. Downtown Smart Code, Chapter 118 – Land Use Regulations, Article 8. Downtown Smart Code, Section 118.8.6 – Standards and Tables.

While all parking space requirements were reviewed, the specific concerns focused on the minimum parking space requirements for residential and general retail uses.

The City's parking space requirements per land use category listed in the LDC were reviewed and compared to the requirements of other jurisdictions in the State of Florida. The selected jurisdictions that were surveyed for purposes of the parking code comparison were as follows.

- City of Cape Coral
- City of Coral Gables
- City of Miami
- City of Naples
- City of Sarasota
- City of Tampa
- Lee County
- Miami-Dade County

For handicap parking, the LDC was reviewed for consistency with the minimum requirements of the Americans with Disabilities Act (ADA).

Lastly, the residential and retail parking requirements of the Downtown Smart Code were also reviewed and compared with the downtown parking codes of the surveyed jurisdictions, where applicable.

Off-Street Parking Requirements

Section 134.3.5 of the City of Fort Myers Land Development Code provided the minimum off-street parking spaces requirements for a total of seventy-six (76) different land use categories.

Current City of Fort Myers Off-street Parking Requirements

The minimum off-street space requirements as contained in the LDC are shown in the second and third columns of Exhibit 3.

Comparison of Parking Requirements

The comparison of the parking space requirements adopted by the City of Fort Myers and the jurisdictions that were surveyed is summarized as part of Exhibit 3. The comparison lists the minimum required parking spaces for each land use. The more significant findings of the comparison are summarized as follows.

- The City of Cape Coral expresses the minimum parking requirements based on general categories of “Residential, Non-residential – Restaurant/Bar, Non-residential – Hotel and Non-residential – Other”.
- Lee County specifies a minimum parking space requirement for single-use, as well as multi-use development. Multi-use purposes are defined in the Lee County Development Code as developments within compact and walk-able communities. The minimum parking space requirements are less for multi-use development than single-use.
- The City of Naples generalizes the required number of parking spaces for all commercial uses including “retail sales, offices, financial institutions, maintenance and repair businesses, libraries, museums, art studios or galleries, private clubs which do not serve food or beverages, and business schools”.
- The City of Miami adopted a “form-based” transect zoning code (Miami21). Transect zones function as human environments that vary from rural to urban. Intensity of human development increases as transects move from rural to urban areas. Parking regulations increases with higher density transect zones.
- None of the surveyed jurisdictions vary the single family/duplex parking space requirements based on the number of bedrooms among the surveyed jurisdictions.
- The City of Fort Myers and some surveyed jurisdictions vary the multifamily parking space requirements based on the number of bedrooms.
 - 1 bedroom: City of Fort Myers = 1.5 spaces per unit
Surveyed Jurisdictions = 1.5 to 2.0 spaces per unit
 - 2 bedrooms: City of Fort Myers = 2.0 spaces per unit
Surveyed Jurisdictions = 1.75 to 2.0 spaces per unit
 - 3 or more bedrooms: City of Fort Myers = 2.0 spaces per unit
Surveyed Jurisdictions = 2.0 to 2.5 spaces per unit

- Visitor Parking: City of Fort Myers = 1.0 space per 15 units
Surveyed Jurisdictions = 0 to 1.5 spaces per 15 units

As shown above, the City's requirements for residential parking spaces generally fall in the middle of the range required by the surveyed jurisdictions.

- The City of Fort Myers and some of the surveyed jurisdictions vary the retail parking space requirements based on the size of the commercial center with multiple tenants.
 - First 25,000 sq. ft.: City of Fort Myers = 1.0 spaces per 200 sq. ft.
Surveyed Jurisdictions = 0.40 to 1.1 spaces per 200 sq. ft.
 - Additional 25,000 sq. ft.: City of Fort Myers = 1.0 spaces per 250 sq. ft.
Surveyed Jurisdictions = 0.50 to 1.25 spaces per 250 sq. ft.

As shown above, the City's requirements for retail parking spaces fall in the middle of the range of the surveyed jurisdictions.

- The following land use categories are not addressed in the City of Fort Myers parking code.
 - Drive-in Car Wash
 - Air Conditioned Storage
 - TV / Radio Stations
 - Libraries / Museums

In general, there were no significant disparities in the requirements found in the City of Fort Myers LDC as compared to the surveyed jurisdictions.

Recommendations

The review of the LDC land use parking requirements resulted in the following recommendation.

1. No changes to the current parking space requirements of the LDC are recommended.
2. The City of Fort Myers should consider adopting parking space requirements for some or all of the following land use categories not currently included in the LDC.

Potential Land Use and Parking Requirements	
Land Use	Minimum Number of Required Spaces
Drive-in Car Wash	1 per stall or 5, whichever is greater
Air Conditioned Storage	1 per 10,000 sq. ft., minimum 5
TV / Radio Stations	1 per 300 sq. ft., plus 1 per 3 studio audience members
Libraries / Museums	1 per 300 sq. ft.

Accessible (Handicap) Parking

The ADA requirements for reserved parking spaces for disabled persons are provided in Section 134.3.2 of the City of Fort Myers Land Development Code. The required number of accessible (handicap) parking spaces is as follows.

Current Accessible (Handicap) Parking Requirements ⁽¹⁾	
Total Parking in Lot	Required Number of Handicap Spaces
1 to 25	1
26 to 50	2
51 to 75	3
76 to 100	4
101 to 150	5
151 to 200	6
201 to 300	7
301 to 400	8
401 to 500	9
501 to 1,000	2% of total
Over 1,000	20, plus 1% of total over 1,000

Footnotes:

(1) City of Fort Myers LDC, Section 134.3.2.

Comparison of Accessible (Handicap) Parking

The parking space requirements set forth by the Americans with Disabilities Act (ADA) are provided in Appendix B. The adopted LDC was found to be consistent with the minimum requirements of the ADA.

Recommendations

Based on the accessible (handicap) parking space requirement review and findings, there are no recommendations for Code revisions.

Downtown Smart Code

The Downtown Smart Code (DSC) specifies the minimum parking space requirements for the Downtown area (Appendix C). The Downtown minimum parking space requirements are provided in Chapter 118 – Land Use Regulations, Article 8. Downtown Smart Code of the LDC and presented below.

Current Required Parking Table ⁽¹⁾		
	Urban General	Urban Center, Urban Core
Residential	1.5/dwelling unit	1.0/dwelling unit
Lodging	0.75/room	0.5/room
Office	1/350 sq. ft. of gross floor area	1/500 sq. ft. of gross floor area
Retail	1/350 sq. ft. of gross floor area	1/500 sq. ft. of gross floor area
Artisanal	by planned unit development	by planned unit development
Institutional	by planned unit development	by planned unit development

Footnote:

(1) City of Fort Myers LDC, Section 118.8.6.E.

Comparison of Downtown Parking Requirements

The City of Fort Myers parking space requirements within the Urban Center and Urban Core are less than those within the Urban General boundaries. In general, the Downtown Smart Code (DSC) requires fewer parking spaces than the rest of the City.

Of particular concern to the City was how the DSC parking requirements of the residential and retail uses compare to the surveyed jurisdictions that have reduced parking rates in the downtown. For residential uses, the DSC requires 1.5 parking spaces per unit within the Urban General category and 1.0 parking space per unit within the Urban Center and Urban Core categories. Under retail, the DSC requires 1.0 parking space per 350 square feet in the Urban General area and 1.0 parking space per 500 square feet in the Urban Center and Core areas.

The summary of the downtown parking requirements comparison between the City of Fort Myers and the surveyed jurisdictions is presented below and included in Appendix C.



Downtown Parking Requirements Comparison Residential and Retail Uses					
	City of Fort Myers	City of Cape Coral	City of Coral Gables	City of Miami	City of Sarasota
Residential					
Urban General	1.5/d.u.	1.0/d.u.	1.0-2.25/d.u.	1.0-1.5/d.u.	1.5/d.u.
Urban Center/Core	1.0/d.u.	1.0/d.u.	1.0-2.25/d.u.	1.0-1.5/d.u. plus 1.0 visitor/10 d.u.	1.0/d.u.
Retail					
Urban General	1.0/350 s.f.	0.9/350 s.f.	0.0-1.4/350 s.f.	1.2/350 s.f.	1.0/350 s.f.
Urban Center/Core	1.0/500 s.f.	1.0-1.25/500 s.f.	0.0-1.7/500 s.f.	1.5/500 s.f.	1.0/500 s.f.

As shown above, the downtown parking requirements of the City of Fort Myers are similar to those of the surveyed jurisdictions. The required parking spaces from the surveyed jurisdictions range from 1.0 to 2.25 parking spaces for each residential unit within the downtown.

The City of Fort Myers DSC (Chapter 118.8.5.A.5.e.) also requires public parking spaces to be provided in order for properties to qualify for bonus density and increased height in the Urban Core. Developers will be responsible for making a monetary \$20,000.00 contribution to the City for every ten parking spaces the City provides. In comparison, the City of Miami requires a minimum of one visitor parking space to be provided for every ten dwelling units by the development in higher density areas of the downtown.

For retail, the surveyed jurisdictions require between 0.0 to 1.4 parking spaces per 350 square feet within the Urban General category and 0 to 1.7 parking spaces per 500 square feet of retail within the Urban Center and Urban Core areas. The City of Sarasota has identical residential and retail parking requirements as the City of Fort Myers.

Recommendations

Based on the above review, there are no recommendations for revisions to the Downtown Smart Code.



3. On-Street Parking in Residential Areas

This task examined the issue of on-street parking in residential areas (excluding downtown) in the City of Fort Myers. The City is considering options to address on-street parking conflicts in residential neighborhoods.

The City has received complaints from residents concerning on-street vehicles parking in residential neighborhoods. Complaints have been received from residents in gated communities where parking restrictions have been enforced by the Home Owners Association (HOA). The HOA enforcements have led to the towing of vehicles that have been parked on-street, including in front of the vehicle owner's home. The primary resident complaint is that the towing of vehicles is "extreme and excessive" as there are limited options to accommodate guest or visitor parking that occasionally spill over into the street.

Complaints have also been received regarding on-street parking near schools, playgrounds and churches. Complaints have been received, for example, that on-street parking of school-related vehicles (parents, visitors, etc.) has infiltrated residential neighborhoods with little or no policing during school hours. Residents, on the other hand, have been ticketed when their own vehicles are temporarily parked in front of their homes.

On-Street Parking

Chapter 86 – Traffic and Vehicles, Article III. – Stopping, Standing, Parking, Division 1. General, Section 86-69. Parking in Residential Areas of the City of Fort Myers LDC addresses vehicular parking in residential areas, as shown in Appendix D.

Current City of Fort Myers On-street Residential Parking Code

On-street parking in residential areas is prohibited per Section 86-69.

Section 86-69 states that vehicles are only allowed to be parked on private residential properties. For single-family residential properties, vehicles are only allowed to be parked or stored on the driveway or permitted improved parking surface of the lot. For multi-family properties, the parking or storage of automobiles in connection with occupants are limited to impervious surface areas of the designated lot. Therefore, on-street parking (inclusive of parking within the street right-of-way) in residential areas is prohibited, regardless of parking/stopping time or vehicle type.

On-Street Parking Violations and Enforcement

On-street parking violations typically occur when demand for residential parking spills over from driveways onto lawns and streets. Illegal parking in residential neighborhoods can occur, for example, during yard sales, birthday parties and family gatherings. However, parking violation

enforcement in residential neighborhoods throughout the City is often infrequent and usually, only in response to neighbor complaints.

On-street parking restrictions within a private (non-gated or gated) residential community can be enforced by the Home Owner Association (HOA). The HOA parking restrictions may apply to both city-owned and privately-owned streets that are within that community. For city-owned streets, the general rule is that both City and HOA regulations are applicable. In cases where the HOA regulations differ from City regulations, the more restrictive regulations will control. Enforcement of parking violations becomes controversial, since HOAs are at times, very active and diligent in their enforcement.

On-Street Parking Adjacent to Schools, Playgrounds and Churches

On-site parking provided by schools can spill over onto the public thoroughfare. During student drop-offs in the morning and pick-ups in the afternoon, vehicles are, at times, parked in a queue on residential streets during these peak school times. The on-street queued vehicles impede the movement of thru traffic by narrowing the travel lanes and can block the designated bike lanes.

Public playgrounds typically provide limited on-site parking and, at times, are unable to accommodate large gatherings of patron. Overflow vehicles typically park on-street or within the public rights-of-way adjacent to playgrounds.

At times, parking churches can spill over onto residential streets during peak periods and special events.

Residential Street Width

One reason for off-street parking requirements is neighborhood appearance or the desire to keep vehicles out of sight and to keep the environment attractive. Another reason is a concern for safety. Streets cluttered by parked vehicles may be hazardous to drivers, cyclists and pedestrians. On-street obstruction and site distance problems are exacerbated where the residential street width is narrow.

Traditional planning indicates that travel lanes be eleven (11) feet in residential areas with a minimum of seven (7) feet for on-street parking. As such, pavement width of at least thirty-six (36) feet would be needed on two-way streets with on-street parking on both sides. On-street parking in dense residential areas may accommodate parked vehicles with street widths of twenty-four (24) feet or less with parking on one side. There are no standard street widths that are universally valid, and each community must decide for itself what is acceptable to accommodate on-street parking.

The City of Fort Myers Complete Street Guidelines, Chapter 4. Traveled Way Design recommends ten (10) foot travel lanes and seven (7) foot parking lanes in residential areas. The FDOT, Plans Preparation Manual recommends a minimum of ten (10) and eleven (11) foot travel

lanes and seven (7) foot parking lanes in residential areas. In comparison, typical residential streets in the City of Fort Myers have pavement widths of between sixteen (16) feet and twenty-three (23) feet, plus grass shoulders.

Recommendations

Section 86-69 prohibits on-street parking in residential areas for purposes that include safety and aesthetics.

1. It is recommended that Section 86-69 be maintained, prohibiting on-street parking in residential areas.
2. The City should consult with the School Board and the particular school to identify and resolve on-street parking issues on a case-by-case basis.
3. The City should evaluate the alternatives to resolve on-street parking issues unique to the specific playgrounds and churches on a case-by-case basis.
4. If the City, neighborhoods, or specific land uses seeking to consider on-street parking allowances, a parking management and enforcement plan should be developed to address the specific parking circumstances of that neighborhood or land use on a case-by-case basis.

If a neighborhood on-street parking management and enforcement plan is to be developed, the plan should include the following conditions.

- Design considerations including but not limited to:
 - Minimum of ten (10) foot travel lane adjacent to parking lane
 - Minimum of seven (7) foot parking lane
- City's role and level of participation
- Permanent parking versus temporary parking
- One-sided parking versus two-sided parking
- Parking time limits
- Parking signage, marking and lighting
- Traffic calming measures
- Administration and permits

The resulting neighborhood parking management and enforcement plan must balance the wishes, safety and welfare of its residents.

Commercial Vehicles Parking in Residential Areas

Commercial vehicle parking in residential districts is addressed under Sections 86-61 and 86-66 of the LDC, as shown in Appendix E.

Current City of Fort Myers Commercial Vehicle Parking Code

Section 86-61 of the LDC limits parking of any commercial vehicle of 1½ tons or larger for a period of time in excess of two hours, except when loading or unloading. Section 86-66.(a).(1).o. of the LDC prohibits parking in areas in such a manner as to obstruct the free use of the streets by other vehicles or in such manner as to impede proper parking by any other vehicles or to impede traffic on the streets. The LDC restrictions on commercial vehicle parking in residential areas are summarized below.

Current Parking In Residential Areas Summary					
Vehicle Type	On-Street Parking	Parking on Public Property/ R-O-W	Parking on Private Property	Parking Time Limit	Parking Weight Limit
Commercial Vehicles	Prohibited per Section 86-69	Prohibited per Section 86-66 Section 86-69	Allowed per Section 86-69	2 hours per Section 86-61	1½ tons or larger per Section 86-61

A definition of commercial vehicle is not provided in the LDC. Rather, the LDC relies on a minimum weight limit to define a commercial vehicle. The Cities of Coral Gables and Sarasota define a commercial vehicle as a vehicle designed, used or maintained primarily for the transportation of property.

The City of Fort Myers' commercial vehicle weight criteria appears to be overly-restrictive as the average curb weight of a compact vehicle is close to 1½ tons (3,000 pounds). This criterion would qualify most vehicles on the road as a commercial vehicle. In comparison, the City of Sarasota considers a truck weighing 7,200 pound or more to be a commercial vehicle. In the City of Naples, the commercial vehicle is defined as any vehicle that has a rated load capacity of one (1) ton or more.

Another issue with the code is that it is common for delivery trucks, service vehicles, landscaping trucks and the like to stop on-street or park within the City's rights-of-way. Section 86-69 of the LDC limits the parking of vehicles on private residential properties. Section 86-61 of the LDC allows commercial vehicles to park beyond the two-hour limit for purposes of loading or unloading. However, Section 86-61 does not make clear as to whether the loading

and unloading is allowed while the commercial vehicle is parked off-street or on-street.

Recommendations

Recommendations to address the issues of commercial vehicle parking are as follow.

1. Provide a definition of commercial vehicle in the LDC. The following definition is recommended.

“Commercial vehicle means a vehicle designed, used or maintained primarily for the transportation of property.”

2. Eliminate the reference to the “1½ ton or larger” weight limit for commercial vehicles currently in the LDC.
3. Specify whether commercial vehicles are allowed to park on-street for purposes of loading or unloading.

EXHIBIT 1
City of Fort Myers Parking Review
Parking Stall Dimensions Comparative Summary

Parking Stall Dimensions													
Municipality	90° (ft)		60° (ft)		45° (ft)		30° (ft)		Parallel (ft)		Handicap (ft)		
	Width	Length	Width	Length	Width	Length	Width	Length	Width	Length	Width	Length	
City of Fort Myers	10.0'	18.0'	10.0'	18.0'	10.0'	18.0'			8.0'	22.0'	12.0'	18.0'	
City of Cape Coral	9.0'	18.0'	9.0'	18.0'	9.0'	18.0'	9.0'	18.0'			12.0'		
City of Coral Gables	8.5'	18.0'	8.5'	18.0'	8.5'	18.0'	8.5'	18.0'	9.0'	20.0'	12.0' ⁽¹⁾	18.0'	
City of Miami	8.5'	18.0'	8.5'	18.0'	8.5'	18.0'	8.5'	18.0'			12.0' ⁽¹⁾	18.0'	
City of Naples	9.0'	18.0'	9.0'	20.1'	9.0'	19.1'	9.0'	16.8'	9.0'	20.0'			
City of Sarasota	8.5'	18.0'	8.5'	18.0'	8.5'	18.0'			8.0'	22.0'			
City of Tampa	(Standard)	9.0'	18.0'	9.0'	23.2'	9.0'	27.0'			9.0'	24.0'	12.0' ⁽¹⁾	18.0'
	(Compact)	8.0'	16.0'	8.0'	20.6'	8.0'	24.0'			8.0'	22.0'		
Lee County	9.0'	18.0'	8.5'	18.0'	8.5'	18.0'	8.5'	18.0'	8.0'	22.0'	12.0'	18.0'	
Miami-Dade County	(Standard)	9.0'	19.0'	9.0'	19.0'	9.0'	19.0'	9.0'	19.0'	8.0'	23.0'		
	(Compact)	7.5'	15.0'	7.5'	15.0'	7.5'	15.0'	7.5'	15.0'				

Footnote:

(1) Based on the 2010 Florida Building Code.

EXHIBIT 2
City of Fort Myers Parking Review
Parking Aisle Dimensions Comparative Summary

Parking Aisle Dimensions						
	One-Way Aisle Width (ft)					
Municipality	90°⁽¹⁾	60°	45°	30°	Parallel	Handicap
City of Fort Myers	24.0'	17.0'	12.5'		22.0' ⁽¹⁾	5.0'
City of Cape Coral	24.0'	20.0'	14.0'	12.0'		5.0'
City of Coral Gables	22.0'	16.0'	12.0'		11.0'	
City of Miami	23.0'	12.8'	10.8'		10.0'	
City of Naples	24.0'	18'0"	13.0'	12.0'	12.0'	
City of Sarasota	22.0'	19.0'	16.0'			
City of Tampa	(Standard)	24.0'	18.0'	11.0'		12.0'
	(Compact)	24.0'	18.0'	11.0'		12.0'
Lee County	24.0'	18.0'	12.0'	12.0'	12.0'	
Miami-Dade County	22.0'	17.0'	12.0'			

Footnote:

(1) Two-way aisle width (ft).

EXHIBIT 3
City of Fort Myers Parking Review
Off-Street Parking Space Requirements Comparative Summary

Use	Minimum Number of Required Spaces											
	City of Fort Myers		City of Cape Coral	City of Coral Gables	City of Miami (T3-T6)	City of Naples	City of Sarasota		City of Tampa	Lee County		Miami-Dade County
	Land Development Code	Downtown Smart Code					Land Development Code	Downtown Zone Districts		Single-Use	Multi-Use	
Single-Family and Duplex	2 per unit	1.5 per unit (Urban General), 1 per unit (Urban Core)	2 per unit	1 per unit (roofed structure), 2 per unit for townhouses	1-2 per unit		2 per d.u., 1.5 per d.u. for age-restricted developments	1.5 per d.u. in DTN, 1.0 in DTNE, DTE, DTC and DTB	1 per unit	2 per unit	—	2 per unit
Multifamily	1 bedroom, 1.5 per unit ≥ 2 bedrooms, 2 per unit Visitor Parking, 1 per 15	1.5 per unit (Urban General), 1 per unit (Urban Core)	Studio - 1.5 per unit 1 bedroom - 1.75 per unit	1.75 per unit, 2.25 per unit for 3 or more bedroom units	1-2 per unit, plus 1 visitor parking per 10 or 15 units	2 per unit, plus 1 per every 10 units for visitors	2 per d.u., 1.5 per d.u. for age-restricted developments	1.5 per d.u. in DTN, 1.0 in DTNE, DTE, DTC and DTB	1 per unit	2 per unit	—	2 per unit
Assisted Living Facility	1 per 3 units or 0.39 per bed, whichever is higher	1.5 per unit (Urban General), 1 per unit (Urban Core)	1 per 4 beds, plus 1 per employee	1 per full-time employee, plus 2 per 5 beds	1 per staff member, plus 1 per four residents	1 per 2 beds	0.5 per bed	1.5 per d.u. in DTN, 1.0 in DTNE, DTE, DTC and DTB	1 per 4 patients	0.54 per unit	0.41 per unit	1 per 2 beds, plus 1 per 2 employees
Bed and Breakfast	1 per unit, plus 1 per manager	0.75 per unit (Urban General), 0.5 per unit (Urban Core)	1 per room, plus 2 per permanent residents	1 space, plus 1 per sleeping room			1 per guest unit plus 2 per d.u.	1.0 per d.u. in DTN, 0.5 in DTNE, DTE, DTC and DTB	1 per 3 rooms	1.2 per unit	—	1 per room
Dormitory, Sorority or Fraternity	1 per 2 students (maximum occ.) plus 1 per manager	0.75 per unit (Urban General), 0.5 per unit (Urban Core)	1 per bedroom or 1 per 2 beds, whichever is greater				0.5 per bed	1.0 per d.u. in DTN, 0.5 in DTNE, DTE, DTC and DTB	1 per unit			
Mobile Home Park	2 per unit	1.5 per unit (Urban General), 1 per unit (Urban Core)	2 per unit				1 per manufactured home lot, plus 1 per 300 sq. ft. offices, laundry, recreation, etc.	1.0 per d.u. in DTN, 0.5 in DTNE, DTE, DTC and DTB	1 per unit	2 per unit	—	2 per unit
Rooming, Lodging and Boarding Houses	1 per unit, plus 1 per manager	0.75 per unit (Urban General), 0.5 per unit (Urban Core)	1 per bedroom or 1 per 2 beds, whichever is greater	1 and 1/8 per sleeping room	1 per every two units, plus 1 visitor parking per 5 or 10 units	1.75 per unit for first 100, 1 per unit for next 150, and .25 per unit for all over 250		1.0 per d.u. in DTN, 0.5 in DTNE, DTE, DTC and DTB	1 per 4 beds			1 per room
Residential Care Facilities	1 per 5 beds, minimum 2 spaces	1.5 per unit (Urban General), 1 per unit (Urban Core)	1 per 4 beds, plus 1 per employee	1 per full-time employee, plus 2 per 5 beds	1 per staff member, plus 1 per four residents	1 per 2 beds	0.5 per bed	1.0 per d.u. in DTN, 0.5 in DTNE, DTE, DTC and DTB	1 per 4 patients	1 per unit	0.59 per unit	1 per 2 beds, plus 1 per 2 employees
Retail: First 25,000 sq. ft.	1 per 200 sq. ft.	1 per 350 sq. ft. (Urban General), 1 per 500 sq. ft. (Urban Core)	4 per 1,000 sq. ft.	1 per 250 sq. ft.	3 per 1000 sq. ft.	5.5 per 1,000 sq. ft.	1 per 250 sq. ft. for shopping centers, 1 per 300 sq. ft. for malls	1 per 350 sq. ft. in DTN, 1 per 500 sq. ft. in DTNE, DTEM, DTC AND DTB	1 per 500 sq. ft.			1 per 250 sq. ft. and 1 per 350 sq. ft. in malls
Retail: Additional > 25,000 sq. ft.	1 per 250 sq. ft.	1 per 350 sq. ft. (Urban General), 1 per 500 sq. ft. (Urban Core)	4.5 per 1,000 sq. ft.	1 per 250 sq. ft.	3 per 1000 sq. ft.	5 per 1,000 sq. ft. over 300,000 sq. ft.	2 per 250 sq. ft. for shopping centers, 1 per 300 sq. ft. for malls	1 per 350 sq. ft. in DTN, 1 per 500 sq. ft. in DTNE, DTEM, DTC AND DTB	1 per 500 sq. ft.			1 per 250 sq. ft. and 1 per 350 sq. ft. in malls
Auto / Truck Drive-in Oil Change				1 per 250 sq. ft.			1 per 350 sq. ft.	" "	1.5 per service bay		—	3 per first 2,500 sq. ft., plus 1 per additional
Auto / Truck Repair	4 per bay, plus 1 per employee	1 per 350 sq. ft. (Urban General), 1 per 500 sq. ft. (Urban Core)	2 per bay, plus 1 per employee	1 per 250 sq. ft.		1 per 300 sq. ft.	1 per 350 sq. ft.	" "	4 per service bay, plus 1 per employee		—	3 per first 2,500 sq. ft., plus 1 per additional 500 sq. ft.
Auto / Truck Sales	1 per 300 sq. ft., minimum of 5 customer spaces	1 per 350 sq. ft. (Urban General), 1 per 500 sq. ft. (Urban Core)	1 per 400 sq. ft. total floor area, plus 1 per 1,500 sq. ft. outdoor sales area	1 per 300 sq. ft. office, 1 per 600 sq. ft. showroom, plus 1 per 500 sq. ft. other		1 per 300 sq. ft.	1 per 250 sq. ft. showroom, parts and service areas, plus 1 per 2,000 sq. ft. outdoor display area	" "	1 per 500 sq. ft.	2.5 per 1,000 sq. ft., minimum of 5 (dead storage = 1 per 1,000 sq. ft.)	2.5 per 1,000 sq. ft.	3 per first 2,500 sq. ft., plus 1 per 500 sq. ft. and 3 per 5,000 sq. ft. of open lot
Auto / Truck Washing	1 per 300 sq. ft.	1 per 350 sq. ft. (Urban General), 1 per 500 sq. ft. (Urban Core)	1 per employee, plus required stacking	1 per 250 sq. ft.		1 per 300 sq. ft.	1 per 350 sq. ft.	" "	1 per 500 sq. ft.	1.5 per car stall	—	3 per first 2,500 sq. ft., plus 1 per additional 500 sq. ft.
Banks / Financial Institutions	1 per 300 sq. ft.	1 per 350 sq. ft. (Urban General), 1 per 500 sq. ft. (Urban Core)	1 per 300 sq. ft.	1 per 250 sq. ft.		1 per 300 sq. ft.	1 per 250 sq. ft. of office area	" "	1 per 500 sq. ft.	3 per 1,000 sq. ft.	2.5 per 1,000 sq. ft.	1 per 250 sq. ft. and 1 per 350 sq. ft. in malls
Bar / Cocktail Lounge	1 per 3 seats	1 per 350 sq. ft. (Urban General), 1 per 500 sq. ft. (Urban Core)	1 per 100 sq. ft., plus 1 per 4 outdoor seats	1 per 250 sq. ft.		1 per 100 sq. ft.	1 per 100 sq. ft.	" "	1 per 500 sq. ft.	21 per 1,000 sq. ft.	14 per 1,000 sq. ft.	1 per 50 sq. ft.
Barbershop / Salon	3 per operator or 1 per 100 sq. ft., whichever is greater	1 per 350 sq. ft. (Urban General), 1 per 500 sq. ft. (Urban Core)	3 per chair or 1 per 100 sq. ft., whichever is greater	1 per 250 sq. ft.		1 per 300 sq. ft.	1 per chair, plus 1 per 250 sq. ft.	" "	1 per 500 sq. ft.	3 per chair, or 1 per 100 sq. ft., whichever is greater	—	1 per 250 sq. ft. and 1 per 350 sq. ft. in malls
Drive-up Facilities	lanes as follows:	1 per 500 sq. ft. (Urban General), 1 per 500 sq. ft. (Urban Core)	1 per 500 sq. ft.							Stacking as follows:		
Bank / Financial Institutions	8 cars per first window, plus 5 cars per each additional		1 per 300 sq. ft.			1 per 300 sq. ft.			1 per 500 sq. ft.	5 per window		

EXHIBIT 3
City of Fort Myers Parking Review
Off-Street Parking Space Requirements Comparative Summary

Use	Minimum Number of Required Spaces													
	City of Fort Myers		City of Cape Coral	City of Coral Gables	City of Miami (T3-T6)	City of Naples	City of Sarasota		City of Tampa	Lee County		Miami-Dade County		
	Land Development Code	Downtown Smart Code					Land Development Code	Downtown Zone Districts		Single-Use	Multi-Use			
Drive-in Car Wash														
Restaurants	10 cars per service lane		1 per 500 sq. ft.			1 per 100 sq. ft.			1 per seat			1 per stall or 5, whichever is greater 10 per lane, minimum of 5 preceeding menu		
Photo Drop-off	3 cars		1 per 500 sq. ft.			1 per 300 sq. ft.			1 per 500 sq. ft.					
All Other	5 cars per service lane		1 per 500 sq. ft.			1 per 300 sq. ft.			1 per 500 sq. ft.			5 per service lane		
Funeral Homes, Crematories, and Mortuaries	1 per 250 sq. ft.	1 per 350 sq. ft. (Urban General), 1 per 500 sq. ft. (Urban Core)	1 per 4 seats or 1 per 25 sq. ft., whichever is greater, plus 1 per employee	1 per 4 seats, plus 1 for each 40 sq. ft. for temporary seating area		1 per 4 seats, or 1 per 4 occupants, whichever is higher	1 per 5 seats, or 1 per 60 sq. ft.	1 per 350 sq. ft. in DTN, 1 per 500 sq. ft. in DTNE, DTEM, DTC AND DTB	1 per 500 sq. ft.			1 per 4 seats, or 4 per 250 sq. ft., whichever is greater	—	1 per 250 sq. ft. and 1 per 350 sq. ft. in malls
Furniture, Appliances, Carpet Stores	1 per 500 sq. ft.	1 per 350 sq. ft. (Urban General), 1 per 500 sq. ft. (Urban Core)	1 per 300 sq. ft., plus 1 per 1,500 sq. ft. outdoor area (1 per 600 sq. ft. dead storage)	1 per 250 sq. ft.		1 per 500 sq. ft.	1 per 250 sq. ft.	" "	1 per 500 sq. ft.			1 per 250 sq. ft., minimum 5	1 per 350 sq. ft.	3 per first 2,500 sq. ft., plus 1 per 500 sq. ft. and 3 per 5,000 sq. ft. of additional space
Hotel / Motel	1.25 per room, 1 per 3 seats of restaurant, and 1 per 8 seats for banquet hall (max.	0.75 per unit (Urban General), 0.5 per unit (Urban Core)	1 per room, plus 1 per 2 employees	1 and 1/8 per sleeping room	1 per every two units, plus 1 visitor parking per 5 or 10 units	1.75 per unit for first 100, 1 per unit for next 150, and .25 per unit for all over 250	1.1 per guest units, plus spaces for accessory uses	1.0 per d.u. in DTN, 0.5 in DTNE, DTE, DTC and DTB	1 per 3 rooms (Hotel) 1 per sleeping unit (Motel)			1.2 per room	—	1 per room ≤ 40 rooms, 1 per every 2 rooms , plus 1 per every 4 employees
Nurseries	1 per 300 sq. ft., plus 1 per 1,000 sq. ft. outdoor area	1 per 350 sq. ft. (Urban General), 1 per 500 sq. ft. (Urban Core)	1 per 300 sq. ft., plus 1 per 1,500 sq. ft. outdoor area	1 per 250 sq. ft.		1 per 300 sq. ft.	1 per 250 sq. ft.	1 per 350 sq. ft. in DTN, 1 per 500 sq. ft. in DTNE, DTEM, DTC AND DTB	1 per 500 sq. ft.					8 for first acre, plus 1 per 2 acres (≤ 10) and 1 per 5 acres (< 10)
Offices	1 per 250 sq. ft.	1 per 350 sq. ft. (Urban General), 1 per 500 sq. ft. (Urban Core)	1 per 300 sq. ft.	1 per 300 sq. ft.	1.25 and 3 per 1000 sq. ft.	1 per 300 sq. ft.	1 per 350 sq. ft.	" "	1 per 1,000 sq. ft.	1 per 300 sq. ft.	1 per 350 sq. ft.			1 per 300 sq. ft.
Sit-down Restaurants	1 per 3 seats (max. occupancy)	1 per 350 sq. ft. (Urban General), 1 per 500 sq. ft. (Urban Core)	1 per 100 sq. ft., plus 1 per 4 outdoor seats	12 per 1,000 sq. ft.		1 per 100 sq. ft.	1 per 150 sq. ft.	" "	0 per seat	14 per 1,000 sq. ft.	12.5 per 1,000 sq. ft.			1 per 50 sq. ft.
Fast-food Restaurant	1 per 2 seats (max. occupancy), plus 10 cars per service lane	1 per 350 sq. ft. (Urban General), 1 per 500 sq. ft. (Urban Core)	1 per 100 sq. ft., plus 1 per 4 outdoor seats	12 per 1,000 sq. ft.		1 per 100 sq. ft.	1 per 300 sq. ft.	" "	0 per seat	13 per 1,000 sq. ft.				1 per 250 sq. ft.
Apparel Shop	1 per 300 sq. ft.	1 per 350 sq. ft. (Urban General), 1 per 500 sq. ft. (Urban Core)	1 per 200 sq. ft. (1 per 600 sq. ft. dead storage)	1 per 250 sq. ft.		1 per 300 sq. ft.	1 per 250 sq. ft.	" "	1 per 500 sq. ft.			1 per 250 sq. ft., minimum of 5	1 per 350 sq. ft.	1 per 250 sq. ft. and 1 per 350 sq. ft. in malls
Convenience Store	1 per 200 sq. ft.	1 per 350 sq. ft. (Urban General), 1 per 500 sq. ft. (Urban Core)	1 per 500 sq. ft., plus 1 per 4 outdoor seats	1 per 250 sq. ft.		1 per 300 sq. ft.	1 per 250 sq. ft.	" "	1 per 500 sq. ft.			1 per 200 sq. ft., minimum of 5 (1 per 4 fuel pumps will be credited towards req.)	—	1 per 250 sq. ft., minimum of 3
Department Store	1 per 300 sq. ft.	1 per 350 sq. ft. (Urban General), 1 per 500 sq. ft. (Urban Core)	1 per 200 sq. ft. (1 per 600 sq. ft. dead storage)	1 per 250 sq. ft.		1 per 300 sq. ft.	1 per 250 sq. ft.	" "	1 per 500 sq. ft.			1 per 250 sq. ft.	2.5 per 1,000 sq. ft.	1 per 250 sq. ft. and 1 per 350 sq. ft. in malls
Gasoline Service Stations	1 per 300 sq. ft.	1 per 350 sq. ft. (Urban General), 1 per 500 sq. ft. (Urban Core)	2 per bay, plus 1 per employee	1 per 250 sq. ft.		1 per 300 sq. ft.	1 per 250 sq. ft.	" "	1 per 500 sq. ft.					1 per 250 sq. ft., minimum of 3
Grocery Store / Supermarkets	1 per 150 sq. ft.	1 per 350 sq. ft. (Urban General), 1 per 500 sq. ft. (Urban Core)	1 per 200 sq. ft. (1 per 600 sq. ft. dead storage)	1 per 250 sq. ft.		1 per 100 sq. ft.	1 per 250 sq. ft.	" "	1 per 500 sq. ft.			1 per 250 sq. ft, minimum 5	1 per 350 sq. ft.	1 per 250 sq. ft. and 1 per 350 sq. ft. in malls
Mobile Home / Recreational Vehicle Sales	1 per 300 sq. ft.	1 per 350 sq. ft. (Urban General), 1 per 500 sq. ft. (Urban Core)	1 per 400 sq. ft. total floor area, plus 1 per 1,500 sq. ft. outdoor sales area	1 per 300 sq. ft. office, plus 1 per 1,000 sq. ft. other		1 per 300 sq. ft.	1 per 250 sq. ft. showroom, parts and service areas, plus 1 per 2,000 sq. ft. outdoor display area	" "	1 per 500 sq. ft.			1 per 700 sq. ft., minimum of 5 (dead storage at 1 per 1,500 sq. ft.)	—	5 per first 5,000 sq. ft., plus 1 per 500 sq. ft.
Studios (Dance, Art, etc)	1 per 300 sq. ft.	1 per 350 sq. ft. (Urban General), 1 per 500 sq. ft. (Urban Core)	1 per 300 sq. ft.	1 per 250 sq. ft.		1 per 300 sq. ft.	1 per 350 sq. ft.	" "	1 per 500 sq. ft.			3 per 1,000 sq. ft.	—	1 per 100 sq. ft.
Teen Club Establishments	1 per 300 sq. ft.	1 per 350 sq. ft. (Urban General), 1 per 500 sq. ft. (Urban Core)	1 per 300 sq. ft.	1 per 250 sq. ft.		1 per 300 sq. ft.	1 per 350 sq. ft.	" "	1 per 10 seats / persons			1 per 100 sq. ft.		
All Other Retail	1 per 300 sq. ft.	1 per 350 sq. ft. (Urban General), 1 per 500 sq. ft. (Urban Core)	1 per 300 sq. ft.	1 per 250 sq. ft.		1 per 300 sq. ft.	1 per 250 sq. ft.	" "	1 per 500 sq. ft.					

EXHIBIT 3
City of Fort Myers Parking Review
Off-Street Parking Space Requirements Comparative Summary

Use	Minimum Number of Required Spaces												
	City of Fort Myers		City of Cape Coral	City of Coral Gables	City of Miami (T3-T6)	City of Naples	City of Sarasota		City of Tampa	Lee County		Miami-Dade County	
	Land Development Code	Downtown Smart Code					Land Development Code	Downtown Zone Districts		Single-Use	Multi-Use		
Public Schools	State law requirements	By planned unit development	—	1 per full-time employee, plus 1 per 4 students aged 16 or older (max. capacity)	1 per faculty/staff member, 1 visitor per 100 students		"	"	1 per 10 seats	State law requirements	—		
Private, Parochial, Elementary, and Junior High	1 per employee, plus 1 per every 40 students	By planned unit development	1 per 25 classroom seats	1 per full-time employee	1 per faculty/staff member, 1 visitor per 100 students	1 per 10 seats in auditorium, plus 1 per every classroom	2 per classroom, plus spaces for accessory uses	"	"	1 per 10 seats	1 per employee, plus 1 per every 40 students	—	1.25 times the number of employees and transport vehicles
High School	1 per employee, plus 1 per every 10 students	By planned unit development	1 per 10 classroom seats	1 per full-time employee, plus 1 per 4 students aged 16 or older (max. capacity)	1 per faculty/staff member, 1 visitor per 100 students, 1 per 5 students (>10th Grd.)	1 per 8 seats in auditorium, plus 2 per every classroom	6 per class room, plus spaces for accessory buildings	"	"	1 per 10 seats	1 per employee, plus 1 per every 10 students	—	1 per 200 sq. ft., plus 2 per 3 sleeping rooms, plus 1 per 4 employees
College / University	1 per employee, 1 per every 5 students, plus 1 per every 4 auditorium seats	By planned unit development	1 per 10 students (design capacity)	1 per student station	1 per faculty/staff member, 1 visitor per 100 students, 1 per student		10 per classroom, plus spaces for accessory buildings	"	"	1 per 10 seats	1 per employee, plus student parking per school regulations	—	1 per 200 sq. ft., plus 2 per 3 sleeping rooms, plus 1 per 4 employees
Business Training	1 per employee, plus 1 per every 3 students	By planned unit development	1 per employee, plus 1 per 250 sq. ft.			1 per 300 sq. ft.		"	"	1 per 500 sq. ft.	2 per 100 sq. ft.	1 per 100 sq. ft.	
Child Care and Elderly Centers	1 per staff member, plus 1 per 10 children / elderly persons		1 per 300 sq. ft., plus 1 per employee	1 per 100 sq. ft. (children) 1 per 300 sq. ft. (adults)	1 per unit/operator and 1 per employee, plus 1 drop-off space per 10 clients	1 per 300 sq. ft.	1 per 300 sq. ft. plus 3 spaces for off-street loading and unloading	"	"	1 per 500 sq. ft.	2 per employee	—	1 per 500 sq. ft., or equal to employees and transport vehicles, whichever is greater
Convalescent / Nursing Homes	1 per 3 beds, minimum of 5 spaces	1.5 per unit (Urban General), 1 per unit (Urban Core)	1 per 4 beds	1 per full-time employee, plus 1 per 3 beds	1 per staff member, plus 1 per four residents	1 per 2 beds	0.5 per bed	"	"	1 per 4 patients	1.12 per unit	1 per unit	1 per 2 beds, plus 1 per 2 employees
Medical / Dental Offices	1 per 200 sq. ft.	1 per 350 sq. ft. (Urban General), 1 per 500 sq. ft. (Urban)	1 per 300 sq. ft.	1 per 300 sq. ft.		1 per 175 sq. ft.	1 per 175 sq. ft. gross leaseable area	"	"	3 per each doctor / dentist	4.5 per 1,000 sq. ft.	4 per 1,000 sq. ft.	1 per 300 sq. ft.
Medical Clinic				1 per 200 sq. ft., plus 1 per full-time employee			1 per 200 sq. ft. < 3,000 sq. ft. 1 per 250 sq. ft. < 5,000 sq. ft. 1 per 300 sq. ft. < 10,000 sq. ft. 1 per 350 sq. ft. < 20,000 sq. ft. 1 per 400 sq. ft. > 20,000 sq. ft.	"	"				
Public / Private Hospitals	2 per bed (maximum capacity)		1 per 300 sq. ft.	2 per patient bed		1.5 per bed	1.5 per bed	"	"	1 per 6 patient beds	1 per bed, plus 1 per employee on largest shift	—	1 per bed for first 300 beds and 1 per every 2 beds after, plus 1 for every 3 employees
Air Conditioned Storage			1 per 10,000 sq. ft., minimum 5	1 per 300 sq. ft. office, plus 1 per 1,000 sq. ft. other			1 per 300 sq. ft. office area, plus 1 per 1,500 sq. ft. floor area	"	"	1 per 100 storage units	1 per 25 storage units, minimum of 5	—	
Bottling / Canning Plants	1 per 500 sq. ft.		1 per employee (largest shift) or 1 per 1,000 sq. ft., whichever is greater	1 per 300 sq. ft. office, plus 1 per 1,000 sq. ft. other				"	"		1.75 per 1,500 sq. ft.	1.5 per 1,500 sq. ft.	1 per 1,000 sq. ft.
Commercial Laundries	1 per 500 sq. ft.							"	"				
Essential Service Facilities			1 per employee on largest shift				0.25 per bed, plus 1 per 250 sq. ft.	"	"		1 per employee on largest shift	—	
Lumberyards	1 per 500 sq. ft.							"	"				
Manufacturing / Industrial Uses	1 per 500 sq. ft.		1 per employee (largest shift) or 1 per 1,000 sq. ft., whichever is greater	1 per 300 sq. ft. office, plus 1 per 1,000 sq. ft. other		1 per 1,000 sq. ft. for first 10,000, plus 1 per 2,000 sq. ft.	1 per 500 sq. ft.	"	"		1.75 per 1,500 sq. ft.	1.5 per 1,500 sq. ft.	2 per 5,000 sq. ft., or 1 per 2 employees, whichever is greater
Printing / Engraving Plants	1 per 500 sq. ft.		1 per employee (largest shift) or 1 per 1,000 sq. ft., whichever is greater	1 per 300 sq. ft. office, plus 1 per 1,000 sq. ft. other		1 per 1,000 sq. ft. for first 10,000, plus 1 per 2,000 sq. ft.	1 per 500 sq. ft.	"	"				
Processing / Warehousing	1 per 500 sq. ft.		1 per 1,000 sq. ft. or 1 per employee, whichever is greater	1 per 300 sq. ft. office, plus 1 per 1,000 sq. ft. other		1 per 1,000 sq. ft. for first 10,000, plus 1 per 2,000 sq. ft.	1 per 300 sq. ft. office area, plus 1 per 1,500 sq. ft. floor area	"	"		1.25 per 1,500 sq. ft.	0.75 per 1,500 sq. ft.	1 per 1,000 sq. ft. up to 10,000 sq. ft., plus 1 per 2,000 sq. ft.; minimum 2 per bay

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Use	Minimum Number of Required Spaces											
	City of Fort Myers		City of Cape Coral	City of Coral Gables	City of Miami (T3-T6)	City of Naples	City of Sarasota		City of Tampa	Lee County		Miami-Dade County
	Land Development Code	Downtown Smart Code					Land Development Code	Downtown Zone Districts		Single-Use	Multi-Use	
Research / Testing Labs	1 per 500 sq. ft.			1 per 300 sq. ft. office, plus 1 per 1,000 sq. ft. other				" "				
Terminal, Flight	1 per 600 sq. ft.		1 per 500 sq. ft.	1 per tie-down (heliport/hellicopter)			1 per 60 sq. ft., up to 47,000 sq. ft., plus 1 per 100 sq. ft.	" "		Determined by Director	—	
TV / Radio Stations				1 per 300 sq. ft., plus 1 per 3 studio audience members (max. cap.)				" "				
Warehousing (mini)	1 per 300 sq. ft. in manager's office, minimum 5 spaces		1 per 10,000 sq. ft., minimum 5	1 per 300 sq. ft. office, plus 1 per 1,000 sq. ft. other			1 per 300 sq. ft. office area, plus 1 per 1,500 sq. ft. floor area	" "		1.25 per 1,500 sq. ft., minimum 5	—	1 per 5,000 sq. ft. for first 20,000 sq. ft., 1 per 10,000 sq. ft. thereafter
Wholesale Establishments	1 per 500 sq. ft.		1 per 1,000 sq. ft. or 1 per employee, whichever is greater	1 per 300 sq. ft. office, plus 1 per 1,000 sq. ft. other				" "		1.25 per 1,500 sq. ft.	0.75 per 1,500 sq. ft.	1 per 600 sq. ft.
All Other Industrial	1 per 500 sq. ft.						1 per 500 sq. ft.	" "		1.75 per 1,500 sq. ft.	1.5 per 1,500 sq. ft.	
Arcade, Games	1 per 200 sq. ft.		1 per 500 sq. ft.	1 per 5 fixed seats or 1 per 300 sq. ft., whichever is greater			1 per 250 sq. ft.	" "	1 per 1,500 sq. ft. land, plus 1 per 500 sq. ft. structure	4 per 1,00 sq. ft.	3.5 per 1,000 sq. ft.	1 per 250 sq. ft.
Boat Ramps	Minimum 10 spaces (10 ft. wide by 40 ft. long)		Minimum 10 spaces (10 ft. wide by 40 ft. long)					" "		10 per ramp	—	
Bowling Alleys	4 per alley		4 per lane, plus requirements for other uses	1 per 5 fixed seats or 1 per 300 sq. ft., whichever is greater		15 per alley		" "	1 per 1,500 sq. ft. land, plus 1 per 500 sq. ft. structure	4 per lane	—	1 per 250 sq. ft.
Commercial /Amusement								" "				
Indoor	1 per 100 sq. ft.		1 per 250 sq. ft.	1 per 5 fixed seats or 1 per 300 sq. ft., whichever is greater			1 per 250 sq. ft. floor area, plus per 1,000 sq. ft. yard area	" "	1 per 1,500 sq. ft. land, plus 1 per 500 sq. ft. structure	10 per amusement ride	—	1 per 250 sq. ft.
Outdoor	To be determined by board of adjustments		8 per acre	1 per 4 visitors during peak use periods			1 per 250 sq. ft. floor area, plus per 1,000 sq. ft. yard area	" "	1 per 1,500 sq. ft. land, plus 1 per 500 sq. ft. structure	10 per amusement ride	—	1 per 4 persons
Community Center				1 per 250 sq. ft.				" "				
Dance Halls	1 per 4 seats		1 per 500 sq. ft.	1 per 5 fixed seats or 1 per 300 sq. ft., whichever is greater				" "	1 per 1,500 sq. ft. land, plus 1 per 500 sq. ft. structure	1 per 100 sq. ft.	—	1 per 100 sq. ft.
Driving Range	1 per tee		1 per tee, plus 1 per 200 sq. ft. of building area	1 per 4 visitors during peak use periods			1 per 250 sq. ft. floor area, plus per 1,000 sq. ft. yard area	" "	1 per 1,500 sq. ft. land, plus 1 per 500 sq. ft. structure			
Flea Markets / Farmer's Markets	3 per 1,000 sq. ft.		1 per 100 sq. ft. of display area	1 per 350 sq. ft. land area delineated to such use				" "	1 per 1,500 sq. ft. land, plus 1 per 500 sq. ft. structure	1 per 100 sq. ft. (indoor) 5 per booth (outdoor)	—	
Golf Course (regulation)	6 per hole, plus requirements for other uses		1 per tee, plus 1 per 200 sq. ft. of building area	4 per hole, 1 per 18 linear feet of bleachers		5 per hole, plus 1 per 200 sq. ft. restaurant, plus 1 per 300 sq. ft. clubhouse	6 per hole, plus 1 per 250 sq. ft. floor area	" "	1 per 1,500 sq. ft. land, plus 1 per 500 sq. ft. structure	6 per hole	—	3 per hole, plus 3 additional
Health Club	1 per 150 sq. ft.							" "	1 per 1,500 sq. ft. land, plus 1 per 500 sq. ft. structure	7 per 1,000 sq. ft.	5 per 1,000 sq. ft.	
Libraries / Museums			1 per 300 sq. ft.				1 per 300 sq. ft.	" "	Equal to 50% of public floor area	3 per 1,000 sq. ft.	—	1 per 250 sq. ft.
Marinas	1 per 2 wet slips, plus 1 per 3 dry slips		1 per slip, 1 per 4 storage stalls	1 per slip, plus 1 per 350 sq. ft. facilities			1 per dry slip, 1 per 4 wet slips, and 1 per every live-aboard slip	" "		1 per 2 wet slips, 1 per 5 dry stalls, 2 per 3 live-aboards	—	1 per 2 boat slips, 1 per live-aboard boat slip, and 1 per 3 boat racks
Miniature Golf	3 per hole, plus requirements for other uses		3 per hole, plus 1 per 200 sq. ft. of building area	1 per 4 visitors during peak use periods		5 per hole, plus 1 per 500 sq. ft. restaurant	1 per 250 sq. ft. floor area, plus per 1,000 sq. ft. yard area	" "	1 per 1,500 sq. ft. land, plus 1 per 500 sq. ft. structure	1.5 per hole		
Parks (public or private)	To be determined by case		1 per acre (Neighborhood), 5 per acre, plus	1 per 4 visitors during peak use periods			1 per 10 acres, plus 1 per 300 sq. ft. floor area	" "	1 per 1,500 sq. ft. land, plus 1 per 500 sq. ft. structure			
Skating Rinks	1 per 100 sq. ft.		1 per 300 sq. ft.	1 per 5 fixed seats or 1 per 300 sq. ft., whichever is greater			1 per 250 sq. ft. floor area, plus per 1,000 sq. ft. yard area	" "	1 per 1,500 sq. ft. land, plus 1 per 500 sq. ft. structure	4 per 1,000 sq. ft.	3.5 per 1,000 sq. ft.	1 per 250 sq. ft.

EXHIBIT 3
City of Fort Myers Parking Review
Off-Street Parking Space Requirements Comparative Summary

Use	Minimum Number of Required Spaces												
	City of Fort Myers		City of Cape Coral	City of Coral Gables	City of Miami (T3-T6)	City of Naples	City of Sarasota		City of Tampa	Lee County		Miami-Dade County	
	Land Development Code	Downtown Smart Code					Land Development Code	Downtown Zone Districts		Single-Use	Multi-Use		
Tennis, Handball, and Racquetball Facilities	2 per court, plus requirements for other uses		4 per court, plus 1 per 200 sq. ft. of building area	3 per court, plus 1 per 18 linear feet of bleachers			1 per 250 sq. ft. floor area, plus per 1,000 sq. ft. yard area	" "	1 per 1,500 sq. ft. land, plus 1 per 500 sq. ft. structure	3 per court, plus 3 per spectator	—	4 per court	
Theaters (movies)							1 per 4 seats	" "					
Single Screen	1 per 2 seats, plus 5 spaces for employees		1 per 300 sq. ft.	1 per 5 fixed seats or 1 per 300 sq. ft., whichever is greater			1 per 4 seats, or 1 per 4 occupants, whichever is higher	1 per 4 seats	" "	1 per 1,500 sq. ft. land, plus 1 per 500 sq. ft. structure	1 per 4 seats	1 per 4 seats	1 per 100 sq. ft.
Multi Screen	1 per 3 seats, plus 5 spaces for employees		1 per 300 sq. ft.	1 per 5 fixed seats or 1 per 300 sq. ft., whichever is greater			1 per 4 seats, or 1 per 4 occupants, whichever is higher	1 per 4 seats	" "	1 per 1,500 sq. ft. land, plus 1 per 500 sq. ft. structure	1 per 4 seats	1 per 4 seats	1 per 100 sq. ft.
Auditoriums / Arenas	1 per 4 seats		1 per 300 sq. ft.	1 per 5 fixed seats or 1 per 300 sq. ft., whichever is greater			1 per 4 seats, or 1 per 4 occupants, whichever is higher	1 per 4 fixed seats, plus 1 per 100 sq. ft. temporary seating floor space	" "	1 per 5 persons / seats	1 per 4 seats	1 per 4 seats	1 per 4 seats
Churches	1 per 4 seats		1 per 4 seats	1 per 5 fixed seats, plus 1 per 50 sq. ft. assembly area			1 per 4 seats, or 1 per 4 occupants, whichever is higher	1 per 5 seats, or 1 per 60 sq. ft.	" "	1 per 8 persons / seats	1 per 3 seats	1 per 5 seats	1 per 100 sq. ft.
Non-worship Space	1 per 300 sq. ft.		1 per 300 sq. ft.				1 per 4 seats, or 1 per 4 occupants, whichever is higher		" "	1 per 10 seats / persons	1 per 100 sq. ft.	—	1 per 100 sq. ft.
Jail / Stockades	1 per employee, plus 1 space per 25 inmates								" "				
Private Clubs or Lodges	1 per 300 sq. ft. or 1 per 4 seats, whichever is		1 per 300 sq. ft.	1 per 250 sq. ft.				1 per 200 sq. ft.	" "	1 per 10 seats / persons	1 per 100 sq. ft.	—	1 per 100 sq. ft.
Animal Boarding / Kennels	Minimum 5 spaces		1 per 300 sq. ft.	1 per 250 sq. ft.				1 per 350 sq. ft.	" "		Minimum 5 spaces	—	
Animal Control Facilities	Minimum 5 spaces								" "				
Veterinary Clinics	5 per veterinarian, plus 1 per employee		5 per veterinarian, plus 1 per employee	1 per 250 sq. ft.					" "		5 per veterinarian, plus 1 per employee	—	

APPENDIX A

Municode
Parking Stall Dimensions

City of Fort Myers
City of Cape Coral
City of Coral Gables
City of Miami
City of Naples
City of Sarasota
City of Tampa
Lee County
Miami-Dade County



City of Fort Myers



134.3.3 - Parking facility dimensions and accessibility.

A. The following minimum dimensions for parking facilities shall apply:

Stall and Aisle Dimensions				
Aisle to Stall	Stall	Stall	Aisle**	
Angle	Width	Length	Width	
90°	10'0"	18'0"	24'0"	(two-way)
60°	10'0"	18'0"	17'0"	(one-way only)
45°	10'0"	18'0"	12'6"	(one-way only)
	8'0"	22'0"	22'0"	(parallel parking)
Handicap Parking	12'0"	18'0"	5'	

**Note: Aisle width for 60° and 45° angle parking must be a minimum of 20 feet if used as a fire access roadway to a building. (See Illustrations 134.3.3-1, 134.3.3-2 and 134.3.3-3 for illustrations of parking.) Parking lots may need fire truck turning radii. (See section 40-8(c)). Access aisle width for off-street areas may be a minimum of 20 feet wide if there is no parking along it.

B. The following shall apply to all uses except single- or duplex-family dwellings:

1. All off-street parking facilities shall be so arranged that no vehicle shall have to back into the right-of-way of any street.
2. Each parking space shall be accessible without driving over or through any other off-street parking space, exclusive of access aisles or driveways.
3. Suitable wheel stops shall be installed at least 24 inches from the front edge of all parking spaces except parallel parking spaces and car dealership display areas that exceed the required number of parking spaces. A curb may be used in place of wheel stops if a 24-inch overhang is provided. This area does not require paving and may be used to meet the requirements for dry detention, but not towards the landscaping requirements. The four feet of unpaved area between wheel stops shall be maintained in good condition by the landowner.
4. All parking and loading spaces shall be marked on the surface of the parking space with paint or permanent marking materials and maintained in clearly visible condition.

(Ord. No. 3417, § 1, 9-4-2007; Ord. No. 3474, § 2, 6-16-2008; Ord. No. [3640, § 8, 9-17-2012](#))

City of Cape Coral



Manual Number: _____

ENGINEERING DESIGN STANDARDS

PREPARED BY:

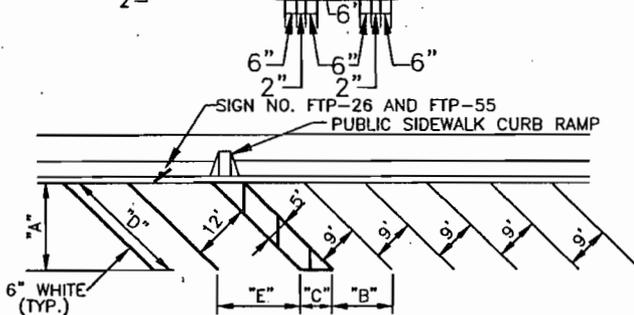
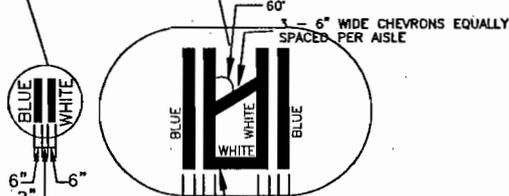
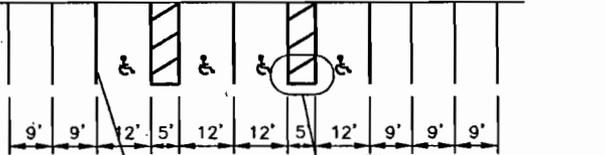
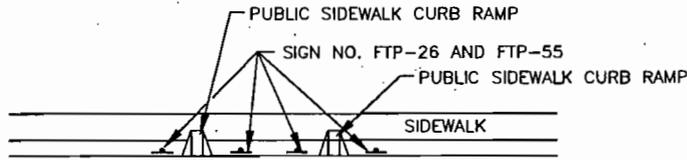
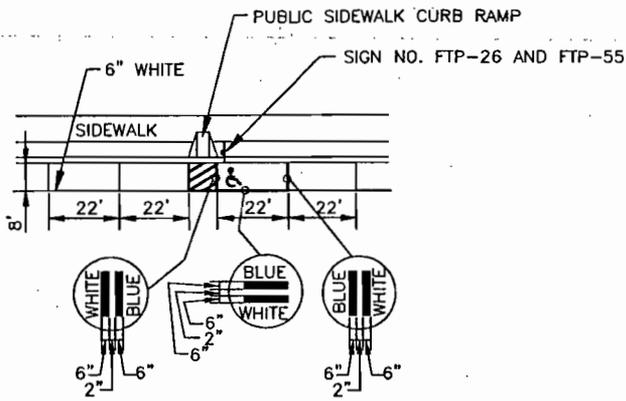
CITY OF CAPE CORAL
PUBLIC WORKS DEPARTMENT

APPROVED BY:

CITY COUNCIL
CITY OF CAPE CORAL
ON 5-6-2002
BY ORDINANCE NO. 103-2001

Prior revisions:

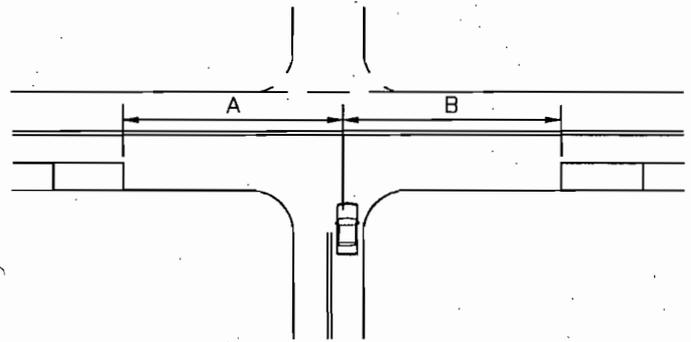
November 12, 1991
April 7, 1992
August 3, 1995



"DIMENSIONS"					
△	"A"	"B"	"C"	"D"	"E"
45°	19	13	7.5	26.9	17.4
60°	20	10.6	6.2	23.3	14.1

- NOTES:
1. DIMENSIONS ARE TO THE CENTERLINE OF MARKINGS.
 2. AN ACCESS AISLE IS REQUIRED FOR EACH ACCESSIBLE SPACE WHEN ANGLE PARKING IS USED.
 3. CRITERIA FOR PAVEMENT MARKINGS ONLY, NOT PUBLIC SIDEWALK CURB RAMP LOCATIONS, FOR RAMP LOCATIONS REFER TO PLANS.
 4. BLUE PAVEMENT MARKINGS SHALL BE TINTED TO MATCH SHADE 15180 OF FEDERAL STANDARDS 595A.
 5. THE FTP-55 PANEL SHALL BE MOUNTED BELOW THE FTP-26 SIGN.

PAVEMENT MARKING FOR PUBLIC SIDEWALK CURB RAMPS IN REST AREAS

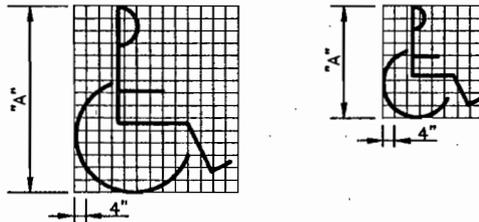


SPEED MPH	SPEED KM/H	UP STREAM (A)	DOWN STREAM (B)	
			2 LANE	4 LANE
0-30	0-50	84'	59'	45'
35	60	98'	69'	49'

NOTES:

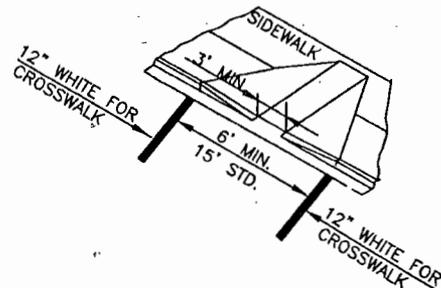
1. DISTANCES MEASURED LONGITUDINALLY ALONG THE STREET FROM DRIVER LOCATION OF ENTERING VEHICLE TO END OF PARKING RESTRICTION.
2. DISTANCES APPLICABLE TO INTERSECTING STREET, MAJOR DRIVEWAYS AND OTHER DRIVEWAYS TO THE EXTENT PRACTICAL.
3. FOR NON-SIGNALIZED INTERSECTIONS, THE VALUES ABOVE SHALL BE COMPARED WITH THE VALUES FOR SIGNALIZED INTERSECTIONS AND THE MAXIMUM RESTRICTIONS IMPLEMENTED. THESE RESTRICTIONS APPLY TO BOTH ACCESSIBLE AND NON-ACCESSIBLE PARKING.

MINIMUM PARKING RESTRICTION FOR NON-SIGNALIZED INTERSECTIONS



USE OF PAVEMENT SYMBOL IN ACCESSIBLE PARKING SPACES IS OPTIONAL, WHEN USED THE SYMBOL SHALL BE 3' OR 5' HIGH AND WHITE IN COLOR.

"UNIVERSAL SYMBOL OF ACCESSIBILITY"



TYPICAL MARKINGS FOR CROSSWALKS



CITY OF CAPE CORAL ENGINEERING DESIGN STANDARD

APPROVED:

D.C.D. DIRECTOR

TITLE:

PARKING MARKINGS
AND STRIPING

DATE

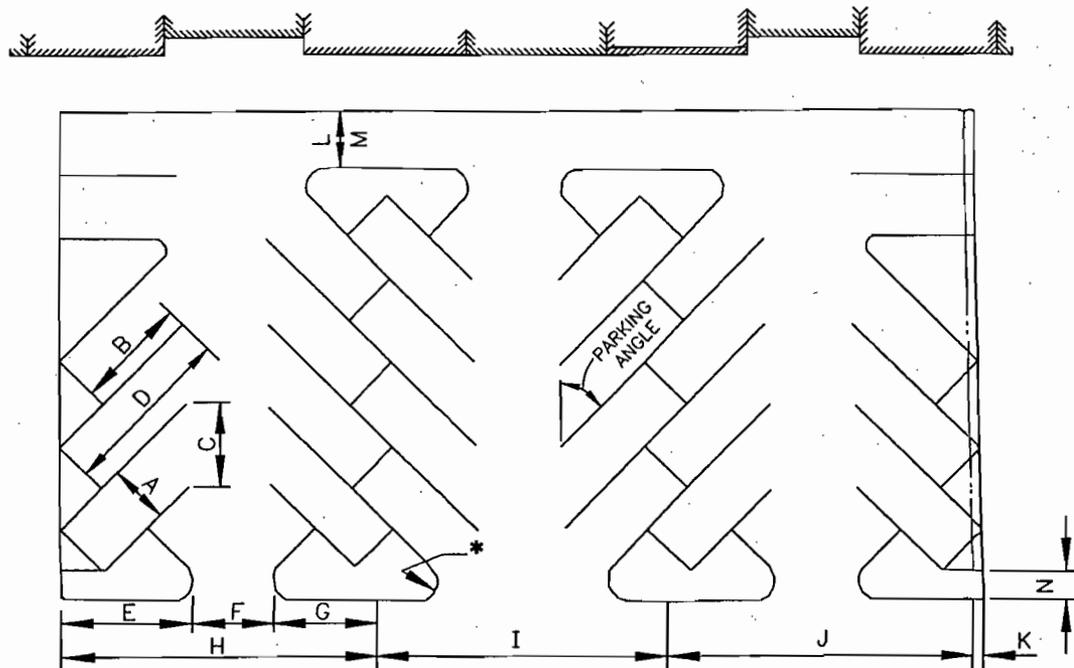
03-28-2002

REVISIONS :

SHEET NO.

E-4

PEDESTRIAN DESTINATION



* = MIN. DESIRED RADIUS -3.0'
TYP.

DIMENSION DESCRIPTION	ON DIAGRAM	PARKING ANGLE			
		30°	45°	60°	90°
STALL WIDTH	A	9.0'	9.0'	9.0'	9.0'
STALL LENGTH	B	18.0'	18.0'	18.0'	18.0'
STALL WIDTH, PARALLEL TO AISLE	C	18.0'	12.7'	10.4'	9.0'
STALL LENGTH OF LINE	D	33.6'	27.0'	23.2'	18.0'
STALL DEPTH TO WALL	E	16.8'	19.1'	20.1'	18.0'
AISLE WIDTH BETWEEN STALLS	F	12.0'	14.0'	20.0'	24.0'
STALL DEPTH, INTERLOCK	G	12.9'	15.9'	17.8'	18.0'
MODULE, WALL TO INTERLOCK	H	41.7'	49.0'	57.9'	60.0'
MODULE, INTERLOCKING	I	37.8'	45.8'	55.7'	60.0'
MODULE, INTERLOCK TO CURB FACE	J	39.2'	46.5'	55.4'	57.5'
BUMPER OVERHANG (TYPICAL)	K	2.5'	2.5'	2.5'	2.5'
CROSS AISLE WIDTH, ONE-WAY	L	14.0'	14.0'	14.0'	14.0'
CROSS AISLE WIDTH, TWO-WAY	M	24.0'	24.0'	24.0'	24.0'
SET BACK, MINIMUM	N	12.0'	10.0'	8.0'	6.0'

NOTES:

1. PARKING SPACE STRIPING SHALL BE 4" WIDE WHITE STRIPES.
2. LANE LINES BETWEEN TRAFFIC LANES IN THE SAME DIRECTION SHALL BE WHITE.
3. CENTER LINES BETWEEN TRAFFIC IN OPPOSING DIRECTIONS SHALL BE YELLOW.
4. CROSSWALKS SHALL BE 6' WIDE WITH 12" WIDE WHITE STRIPES.
5. STOP LINES SHALL BE 24" WIDE WHITE.
6. SIGNS SHALL HAVE 4" HIGH LETTERING.
7. STRIPES CAN BE PAINTED WITH LATEX PAINT OR THERMOPLASTIC MATERIAL.



CITY OF CAPE CORAL
ENGINEERING DESIGN STANDARD

APPROVED:	TITLE: PARKING LOT STANDARDS	REVISIONS :	SHEET NO.
D.C.D. DIRECTOR	DATE: <u>03-28-2002</u>		E-5

City of Coral Gables



CITY OF CORAL GABLES



ZONING CODE

ARTICLE 5 – DEVELOPMENT STANDARDS

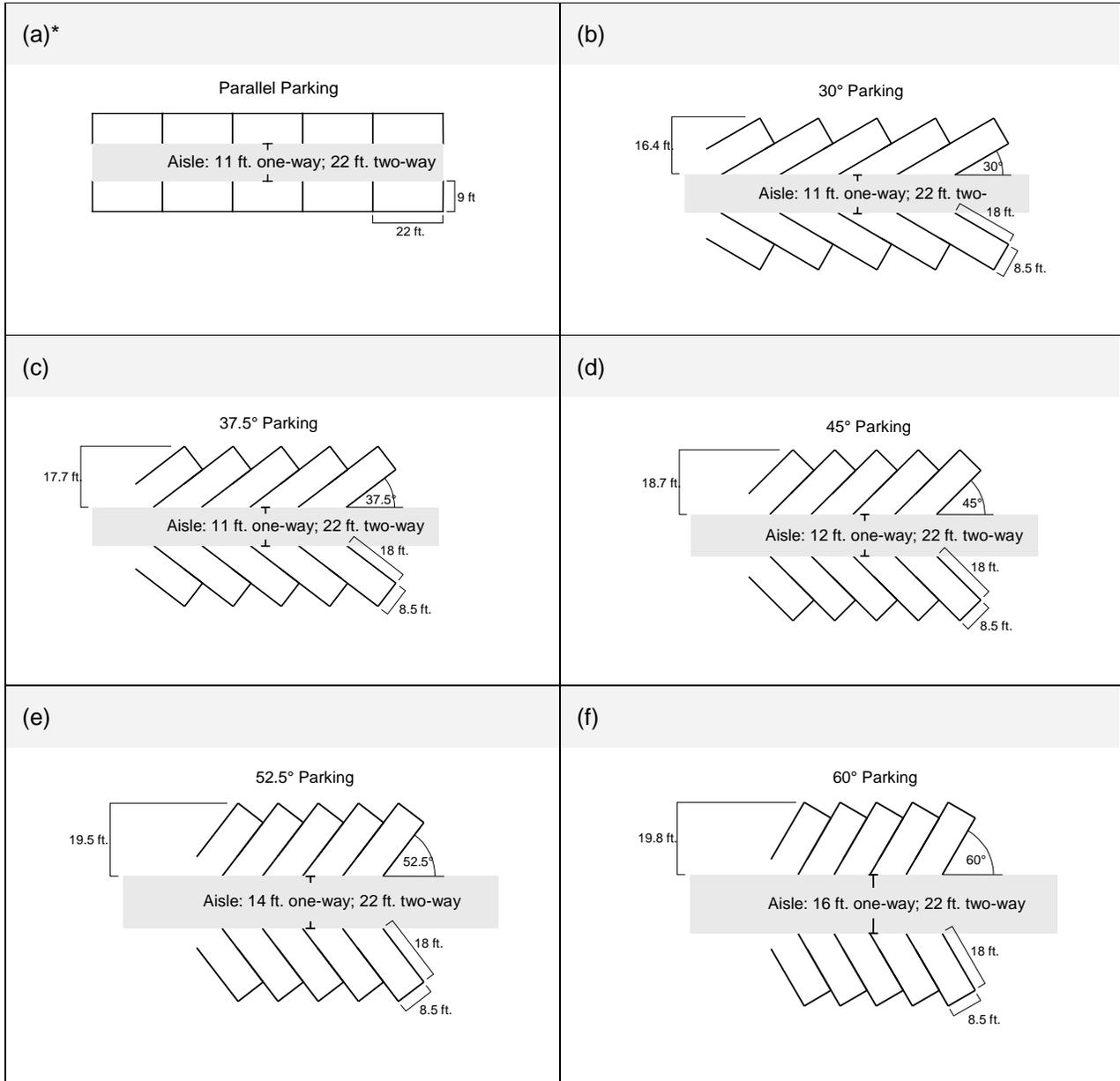
- c. The net new parking demand generated by a change in the use of all or part of a building, structure, or property in residential, mixed use, and special use districts.
2. The requirements of this Division do not apply to a change of use in the Commercial Limited and Industrial Districts.
3. Parking and loading areas that are required by this Division shall be maintained for as long as the use to which they relate is continued.
4. Any building or structure located in a residential, commercial or industrial zoning district which existed as of March 11, 1964, may be altered -- including renovations, remodels, repairs, and changes in use -- without providing off-street parking facilities or additional off-street parking facilities if there is no more than a five (5%) percent total increase in floor area, based on conditions as of March 10, 1964, and if there is no change in zoning to a zoning district requiring more off-street parking than the existing zoning district, subject to the following exceptions:
 - a. Any single-family residence which is increased in size more than fifty (50%) percent of the gross floor area of the building as it existed as of March 11, 1964, shall provide off-street parking for the residence as required herein.
 - b. Any residential unit in a duplex building which is increased in size more than twenty-five (25%) percent of the gross floor area of the residential unit as it existed as of March 11, 1964, shall provide the off-street parking required for the residential unit as required herein.
 - c. Any apartment unit in an apartment building which is increased in size more than five (5%) percent of the gross floor area of the apartment unit as it existed as of March 11, 1964, shall provide the off-street parking required for the apartment unit as required herein. Any apartment unit or units which are added to an existing apartment building shall provide off-street parking for the apartment unit added as required herein. Any building or structure other than single-family residences or duplexes, which is increased in size more than fifty (50%) of the gross floor area as it existed as of March 11, 1964, shall provide off-street parking for the entire building.
5. Any building or structure, other than single-family residences, duplexes or apartment buildings, which is increased in size more than five (5%) percent but less than fifty (50%) percent of the gross floor area as it existed as of March 11, 1964, shall provide off-street parking for the added portion as outlined hereinafter but will not be required to provide additional parking facilities for the presently existing portion unless required by a change of zoning.

Section 5-1402. Geometric standards for parking and vehicular use areas.

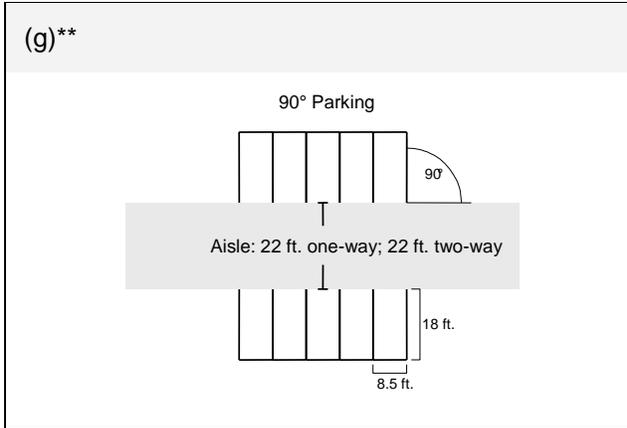
- A. Dimensions and configuration of parking spaces.
 1. Required parking space dimensions:
 - a. Parallel parking spaces: Nine (9) feet by twenty-two (22) feet.
 - b. Angled parking spaces: Eight and one-half (8½) feet by eighteen (18) feet.
 - c. Disabled parking spaces shall be dimensioned in accordance with Chapter 11 of the Florida Building Code.
 2. Wheel stops and curbing. Precast concrete wheel stops or curbing shall be provided for all angled parking spaces that abut a sidewalk such that cars are curbed at sixteen and one-half (16 ½) feet. The balance of the required depth of the parking spaces between the wheel stop or curb and the sidewalk shall be clear of obstructions.
 3. Required aisle widths. Minimum required aisle widths shall be as follows:

ARTICLE 5 – DEVELOPMENT STANDARDS

Parking Angle	One-Way Aisle	Two-Way Aisle
0° (parallel) (a); 30° (b); 37.5° (c)	11 feet	22 feet
45° (d)	12 feet	22 feet
52.5° (e)	14 feet	22 feet
60° (f)	16 feet	22 feet
90° (g)	22 feet	22 feet



ARTICLE 5 – DEVELOPMENT STANDARDS

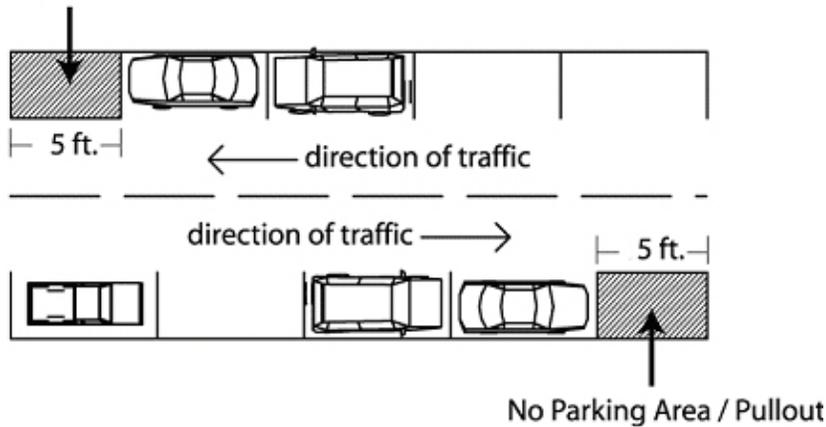


* Parallel parking spaces shall be setback an additional one and a half (1 ½) feet from walls.

** 90 degree parking spaces shall be setback an additional one (1) foot from walls.

4. Parallel parking pull-out. A five (5) foot long pull-out area shall be provided at the front end of each group of contiguous parallel parking spaces, as shown in the figure below. It shall be marked “no parking.”

No Parking Area / Pullout



5. Dimensions of garages and carports.

- a. The minimum dimensions of garages, carports and porte-cocheres are as follows:

Type	Interior Width	Interior Length
One-car garage	12 feet	22 feet
Two-car garage	22 feet	22 feet
One-car carport	12 feet	22 feet
Two-car carport	22 feet	22 feet
Porte-cochere	12 feet	22 feet
For each additional space	An additional ten (10) feet in width shall be required for each additional car being stored in a garage or carport.	

City of Miami



CITY OF MIAMI

MIAMI-DADE COUNTY, FLORIDA

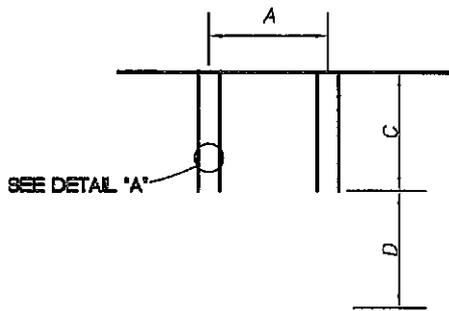
ENGINEERING STANDARDS FOR DESIGN AND CONSTRUCTION



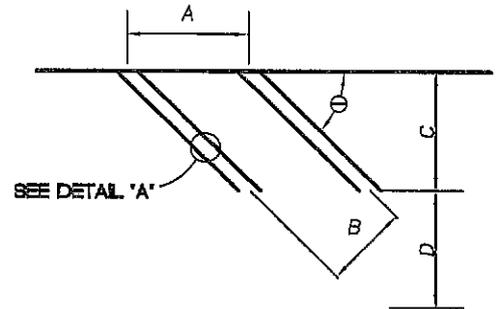
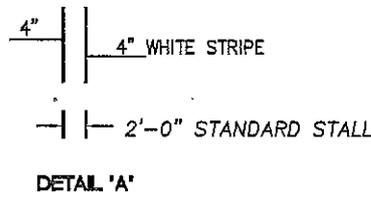
December, 2010

DEPARTMENT OF PUBLIC WORKS

444 S.W. 2ND AVENUE
MIAMI, FLORIDA, 33130



PARALLEL PARKING



ANGLE PARKING

- D1= TWO WAY TRAFFIC, DOUBLE LOADED (2 ROWS OF STALLS)
- D2= ONE WAY TRAFFIC, DOUBLE LOADED (2 ROWS OF STALLS)
- D3= ONE WAY TRAFFIC, SINGLE LOADED (1 ROW OF STALLS)

VEHICLE STALL DIMENSIONS
18' STALL LENGTH

A	B	C	D1	D2	D3	Θ
23'-0"	—	9'-0"	20'-0"	10'-0"	10'-0"	PARALLEL
12'-0"	8'-6"	18'-9"	18'-6"	9'-6"	10'-9"	45°
11'-1"	8'-6"	19'-3"	18'-6"	9'-6"	10'-9"	50°
10'-5"	8'-6"	19'-7"	18'-9"	10'-3"	11'-5"	55°
9'-10"	8'-6"	19'-10"	19'-4"	11'-10"	12'-8"	60°
9'-5"	8'-6"	20'-0"	19'-8"	14'-1"	15'-1"	65°
9'-1"	8'-6"	19'-11"	19'-9"	16'-3"	17'-1"	70°
8'-10"	8'-6"	19'-8"	20'-3"	18'-3"	18'-10"	75°
8'-8"	8'-6"	19'-3"	20'-6"	20'-0"	20'-3"	80°
8'-6"	8'-6"	18'-9"	21'-7"	21'-7"	21'-9"	85°
8'-6"	8'-6"	18'-0"	23'-0"	23'-0"	23'-0"	90°

- NOTES:**
1. WHERE A STALL ABUTS A PHYSICAL OBSTRUCTION, THE STALL WIDTH SHALL BE INCREASED BY 1'. WHERE THERE IS AN OBSTRUCTION ON BOTH SIDES, THE STALL WIDTH SHALL BE INCREASED BY 2'. DIMENSION SHOWN ARE MIN. FOR UNOBSTRUCTED PARKING AND MANEUVERING. WHERE PHYSICAL OBSTRUCTIONS EXIST, ADDITIONAL WIDTH MUST BE PROVIDED FOR PARKING AND TURNING MOVEMENTS.
 2. A DOUBLE PAINTED LINE IS STD. ON ALL PARKING LAYOUTS. MIN. WIDTH OF PAINTED LINES IS 4", COLOR WHITE.
 3. THIS STANDARD TO SUPERSEDE ALL OTHER PARKING STANDARDS.

MINIMUM PARKING STANDARDS

OFF STREET PARKING

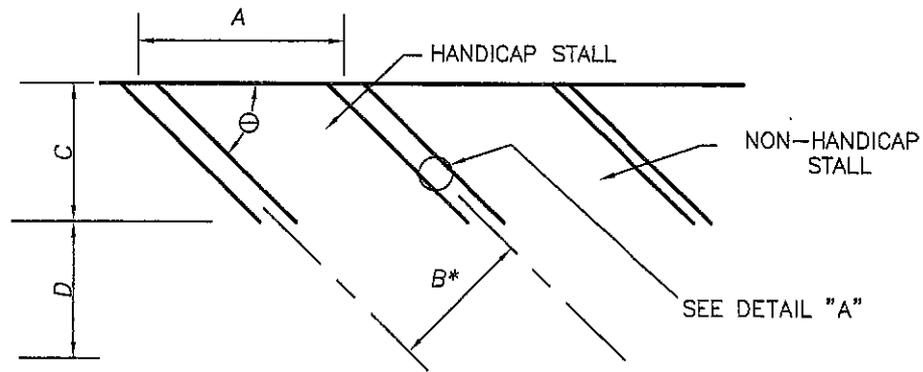
N.T.S.

Sept., 1990

DEPARTMENT OF PUBLIC WORKS
 CITY OF MIAMI, FLORIDA

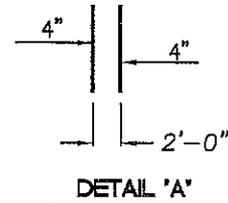
R-1 MISC. 35-85-33
 Sheet 1 of 4

DR: MA
 CK:



ANGLE PARKING

- D1= TWO WAY TRAFFIC, DOUBLE LOADED (2 ROWS OF STALLS)
- D2= ONE WAY TRAFFIC, DOUBLE LOADED (2 ROWS OF STALLS)
- D3= ONE WAY TRAFFIC, SINGLE LOADED (1 ROW OF STALLS)



VEHICLE HANDICAP	STALL			DIMENSIONS		
	18' STALL	18' STALL	18' STALL	LENGTH		
θ	A	B*	C	D1	D2	D3
45°	24.04'	17'-0"	18'-9"	18'-6"	9'-6"	10'-9"
50°	22.19'	17'-0"	19'-3"	18'-6"	9'-6"	10'-9"
55°	20.75'	17'-0"	19'-7"	18'-9"	10'-3"	11'-5"
60°	19.63'	17'-0"	19'-10"	19'-4"	11'-10"	12'-8"
65°	18.76'	17'-0"	20'-0"	19'-8"	14'-1"	15'-1"
70°	18.09'	17'-0"	19'-11"	19'-9"	16'-3"	17'-1"
75°	17.60'	17'-0"	19'-8"	20'-3"	18'-3"	18'-10"
80°	17.26'	17'-0"	19'-3"	20'-6"	20'-0"	20'-3"
85°	17.06'	17'-0"	18'-9"	21'-7"	21'-7"	21'-9"
90°	17.0'	17'-0"	18'-0"	23'-0"	23'-0"	23'-0"

* INCLUDES A 5 FOOT WIDE ACCESS AISLE

- NOTES:**
1. DIMENSIONS SHOWN ARE MIN. FOR UNOBSTRUCTED PARKING AND MANEUVERING. WHERE PHYSICAL OBSTRUCTIONS EXIST, ADDITIONAL WIDTH MUST BE PROVIDED FOR PARKING AND TURNING MOVEMENTS.
 2. A DOUBLE PAINTED LINE (SHOWN ABOVE) IS STD. ON ALL HANDICAP PARKING STALLS. MIN. WIDTH OF PAINTED LINES IS 4", COLOR BLUE.
 3. THIS STANDARD TO SUPERSEDE ALL OTHER PARKING STANDARDS.
 4. ADJACENT HANDICAP PARKING STALLS MAY SHARE A SINGLE 5 FOOT WIDE WIDE ACCESS AISLE.

MINIMUM PARKING STANDARDS (HANDICAPPED)

OFF STREET PARKING

N.T.S.

May, 1992

DR: MA
CK:

DEPARTMENT OF PUBLIC WORKS
CITY OF MIAMI, FLORIDA

R-3 MISC. 35-85-33

Sheet 2 of 4

City of Naples



Sec. 50-103. - Design and construction standards.

- (a) Generally; joint use of parking facilities. All new off-street parking facilities in commercial districts shall be designed for joint use by abutting properties, with exceptions or conditions as follows in subsections (a)(3), (4) and (5) of this section. All of the other following subsections are applicable to all zoning districts except for single-family or duplex development.
- (1) Access from one section of an on-site parking area to another shall be provided on site.
 - (2) Adequate back-out and turnaround areas shall be provided at the dead ends of permitted parking bays.
 - (3) Driveways, accessways and access aisles shall be interconnected with all existing driveways, accessways and access aisles in parking areas already developed on abutting commercial property.
 - (4) Where abutting property is not developed and where the owner of the abutting property does not wish to develop the property concurrently, driveways, accessways and access aisles shall be brought to the common property line so that future interconnection is possible.
 - (5) Where existing abutting property is developed in such a manner that interconnection of driveways, accessways or access aisles is physically impossible, no connection shall be required.
 - (6) Access aisles or maneuvering areas shall be so arranged that no vehicle need back onto a public right-of-way, except in the following instances:
 - a. Within single-family residential zoning, vehicles may back onto any public right-of-way.
 - b. Within multifamily residential districts R3-12 through R3-18, parking spaces may be so arranged that vehicles may back into a dedicated alley right-of-way so long as such alley does not, at any point opposite the parking spaces, abut any commercial or industrial district or PD area designated for commercial or industrial use. Where commercial property is across the alley from single-family residential property, the commercial property owner shall provide landscaping on the single-family residential property with the permission of the single-family residential property owner.
 - c. Within the community redevelopment area as defined in Ordinance No. 94-7205, parking spaces may be so arranged that vehicles back into an alley right-of-way.
 - (7) No parking or loading space shall interfere with access to any other parking or loading space, or with a pedestrian walkway.
 - (8) All parking and loading spaces shall be painted to indicate their proper location and area requirement.
-
- (b) Minimum dimensions.
- (1) Required parking spaces. All required off-street parking areas shall be designed so as to meet the minimum dimensions shown in the following table. See article III of this chapter relative to permitted encroachment into landscaped areas.

SPACE REQUIREMENTS AT VARIOUS PARKING ANGLES

Parking Angle (degrees)	Stall Width (feet)	Stall to Curb (feet)	Access Aisle, 1-Way (feet)	Curb Length (feet)
0	9.0	9.00	12.0	20.00
30	9.0	16.83	12.0	18.00
40	9.0	18.45	13.0	14.04
45	9.0	19.08	13.0	12.69
50	9.0	19.62	13.0	11.79
60	9.0	20.07	18.0	10.44
70	9.0	19.98	18.0	9.54
80	9.0	19.26	24.0	9.18
90	9.0	18.00	24.0	9.00

-
- (2) Accessways. Minimum dimensions of accessways are 12.0 feet for 1-way accessways and 20.0 feet for 2-way circulation. There shall be a minimum turning radius from the property line to the street line of 15 feet.
- (3) Compact car spaces. A maximum of 10 percent of the required off-street parking spaces may be designated as compact car spaces. Each such space shall have a minimum stall width of 8 feet and a minimum stall depth of 18 feet. Such spaces shall be signed and designated "Compact Cars Only," and shall not be located in high turnover areas which are in close proximity to main building entrances.
- (4) Parking spaces in excess of required spaces. The dimension of parking spaces in excess of required parking spaces shall not be reduced below 8 feet in stall width or 18 feet in stall-to-curb length for 90-degree parking, or proportionally the same for angled parking. Excess spaces which may become required spaces shall be modified to meet the minimum dimensions specified for such required spaces.
- (5) Loading spaces. Each type A loading space shall be at least 25 feet in depth and 10 feet in width. Each type B loading space shall be at least 50 feet in depth and 12 feet in width. All buildings with overhangs that project over loading spaces shall have a vertical overhang clearance of not less than 14 feet, exclusive of access aisle, platform or maneuvering area.
- (c) Surfacing. All facets of off-street parking, vehicular use areas and loading facilities required by this Code shall have stabilized bases and surfaces compatible with their intended uses. Parking facilities

designed to accommodate less than 10 cars, parking in excess of minimum requirements, parking for low frequency uses such as churches, and facilities for parking in excess of 2 hours (e.g., employee lots) may be surfaced with crushed shell, crushed stone, grass, or other pervious material upon approval of the city manager. Other uses may have pervious surfacing approved through the general development and site plan review process as outlined in section 46-33. Pervious surfacing, where applicable, will be allowed under the following conditions:

- (1) The parking area meets all of the dimensional requirements of this Code and the parking spaces are delineated by bumper strips or painted curbs, or in an alternate fashion.
- (2) The unpaved area is contained by an approved barrier curb of sufficient size to prohibit erosion of surface material into the storm sewer or paved area.
- (3) The owner agrees to maintain said parking areas in a neat, graded, dust-free condition, useable for parking.

The city retains the ability to require the paving of any parking or circulation element subsequent to a finding that the lot is not being properly maintained or it no longer functions in a safe and convenient manner in its unpaved condition.

(d) Parking spaces for persons who have disabilities. Handicapped parking spaces shall be provided in accordance with the following table:

Total Spaces Provided	Parking Spaces for Persons Who Have Disabilities Required
Up to 25	1
26 to 50	2
51 to 75	3
76 to 100	4
101 to 150	5
151 to 200	6
201 to 300	7
301 to 400	8
401 to 500	9
501 to 1,000	2% of total
Over 1,000	20, plus 1 for each 100 over 1,000

(Comp. Dev. Code 1990, § 8-3-3; Code 1994, § 106-103; Ord. No. 94-7339, § 1, 12-21-1994; Ord. No. 95-7363, § 1, 2-1-1995; Ord. No. 99-8454, § 4, 1-20-1999; Ord. No. 99-8515, § 4, 4-7-1999; Ord. No. 08-12015, § 1, 4-2-2008; Ord. No. 08-12285, § 3, 12-3-2008)

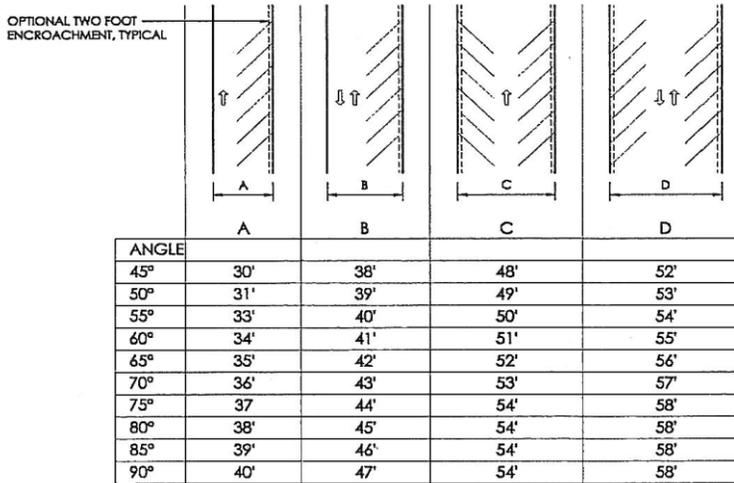
City of Sarasota



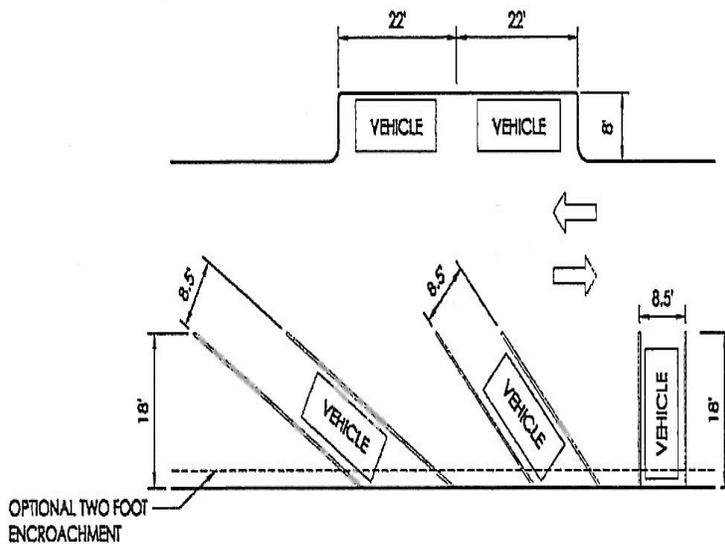
Sec. VII-209. - Dimensional standards.

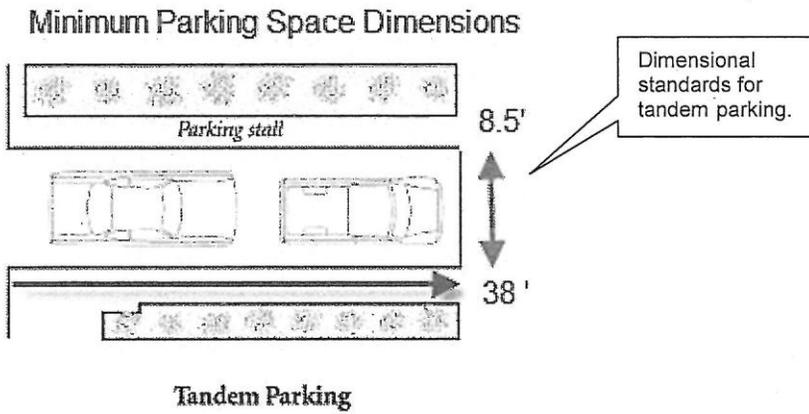
All off-street parking shall comply with the minimum provisions noted below. However, the front of a vehicle may encroach up to two feet upon any landscaped area or walkway. Two feet of such landscaped area or walkway may be part of the required depth of each abutting parking space in such instance; however, in such instances the width of the sidewalk shall be increased to at least six feet.

Minimum Parking Dimensions



Minimum Parking Space Dimensions





(Ord. No. 02-4357, 4-29-02; Ord. No. 06-4663, § 2, 3-20-06; Ord. No. 08-4819, § 2(Att. 1), 7-21-08; Ord. No. 13-5049, § 2(Att. 1), 4-15-13)

City of Tampa



Sec. 27-283.12. - Off-street parking space standards.

(a) Regular car off-street parking layout:

PKG TABLE 2

Dimension (in feet)	On Diagram	0°	45°	60°	75°	90°
Stall width perpendicular to stall length of line	A	9.0	9.0	9.0	9.0	9.0
Stall length of line	B	24.0	27.0	23.2	20.4	18.0
Stall depth to wall	C	9.0	19.1	20.0	19.7	18.0
Aisle width between stall lines	D	12.0	11.0	18.0	22.0	24.0
Module width wall to wall	E	30.0	49.2	58.2	61.4	62.0
Bumper overhang ¹ (optional)	F	2.0	2.0	2.0	2.0	2.0
Back-up width	G	—	—	—	—	7.0
Cross-aisle one-way	H	10.0 (min.) and 15.0 (max.)				
Cross-aisle two-way	H	20.0 (min.) and 30.0 (max.)				

Note:

¹ Bumper overhang not permitted over landscaping or sidewalk area.

(b) Compact car off-street parking requirements and stall layout:

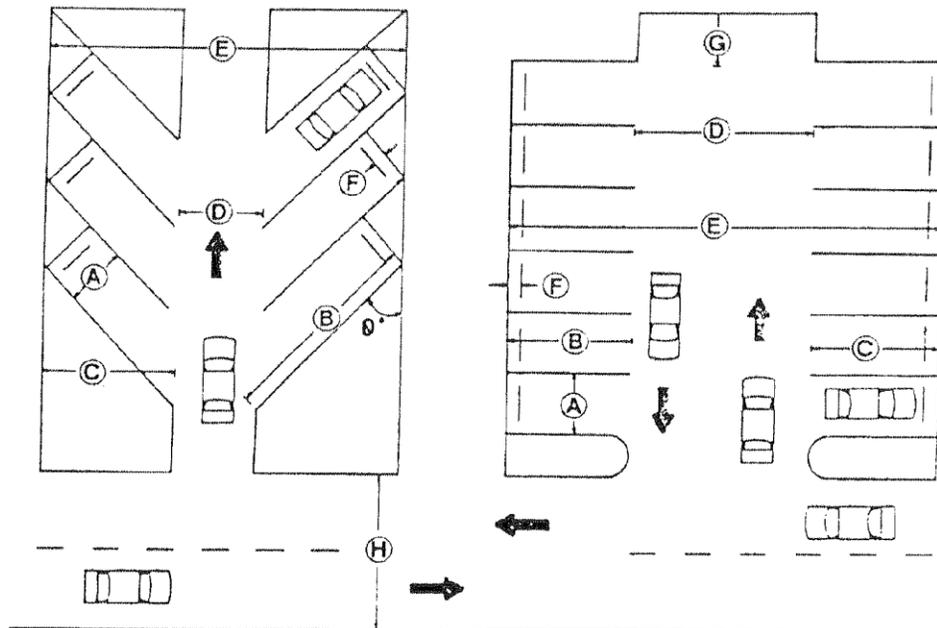
- (1) Compact car parking may be allowed for up to sixty-five (65) percent of the required spaces. Compact car parking may be provided for up to one hundred (100) percent of the spaces in excess of the required number of spaces.
- (2) For ninety-degree compact parking, the minimum stall width shall be eight (8) feet and the minimum stall length shall be sixteen (16) feet. There need to be no provision for bumper overhang for compact parking.
- (3) Compact parking spaces shall be clustered in groups and located within easy access of an entrance so as to be desirable and fully utilized.
- (4) Compact parking spaces must be designated as being for the exclusive use of compact cars through the use of signage or marking.

- (5) The overall design must be reviewed and approved by the Planning and Development Department (PDD), with consultation with the department of public works, if required.
- (6) The parking layout dimensions (in feet) for eight-foot compact parking stalls at various angle is shown below in PKG Table 3.
- (7) The off-street parking stall layout for compact cars is also controlled by PKG Graphic-2.
- (8) Compact parking spaces shall not be utilized for single-family detached, semi-detached, attached, two-family, or multi-family townhouse style units, which are located within a garage or in tandem. Please refer to "27-283.12(a) Regular car off-street parking layout" for required dimensions.

PKG TABLE 3
COMPACT CAR OFF-STREET PARKING LAYOUT

Dimension (in feet)	On Diagram	0°	45°	60°	75°	90°
Stall width perpendicular to stall length of line	A	8.0	8.0	8.0	8.0	8.0
Stall length of line	B	22.0	24.0	20.6	18.1	16.0
Stall depth to wall	C	8.0	17.0	17.8	17.5	16.0
Aisle width between stall lines	D	12.0	11.0	18.0	22.0	24.0
Module width wall to wall	E	28.0	45.0	53.6	57.0	56.0
Bumper overhang (optional)	F	—	—	—	—	—
Back-up width	G	—	—	—	—	6.0
Cross-aisle one-way	H	10.0 (min.) and 15.0 (max.)				
Cross-aisle two-way	H	20.0 (min.) and 30.0 (max.)				

OFF-STREET PARKING STALL LAYOUT
DIAGRAM 10-2



LEGEND

- (A) Stall width, perpendicular to stall length of line.
- (B) Stall length of line.
- (C) Stall depth to wall.
- (D) Aisle width between stall lines.
- (E) Module width wall to wall.
- (F) Bumper overhang (optional).
- (G) Back-up width.
- (H) Cross-aisle one-way.
- (H) Cross-aisle two-way.

Lee County



Sec. 34-2016. - Parking space dimension, delineation, angle and aisle width.

In addition to satisfying the provisions of this division, off-street parking lots must conform to the following requirements:

- (1) Parking space dimensions. Minimum individual parking space dimensions are as follows:
 - a. Disabled parking (all): 12 feet by 18 feet. Parking access aisles which may be shared between two disabled spaces must be no less than five feet wide and must be part of an accessible route to the building or facility entrance. The individual parking space dimensions do not preclude compliance with the Americans with Disabilities Act (ADA) of 1990, as amended.
 - b. High and low turnover parking lots:
 1. 90-degree parking: Nine feet by 18 feet.
 2. 30-, 45- or 60-degree parking: 8½ feet by 18 feet.
 3. Parallel parking: Eight feet by 22 feet.
 - c. Golf cart parking: Five feet by eight feet.
- (2) Delineation of spaces.
 - a. Paved parking lots.
 1. Parking spaces must be delineated by all-weather painted lines, or thermoplastic striping, not less than four inches in width, centered on the dividing line between spaces.

Parking spaces for persons with disabilities must be prominently outlined with blue paint, and must be repainted when necessary to be clearly distinguishable as a parking space designated for persons who have disabilities. Signs erected after October 1, 1996 must indicate the penalty for illegal use of the space.
 2. Parking spaces that abut a pedestrian walkway, required landscaping, or required open space must be provided with a parking block set two feet from the end of the parking space.
 - b. Unpaved parking lots.
 1. Parking spaces in unpaved parking lots must be delineated by placing a parking block two feet from the end of the parking space and centered between the sides of the space.
 2. If the space abuts a structure, the space may be indicated on the structure, in which case parking blocks are not required.
 - c. Temporary parking lots. (See section 34-2022.) Individual spaces in temporary parking lots do not need to be delineated provided the end of each space and all aisles are clearly delineated with temporary posts and ropes.

(3) Minimum aisle widths. Minimum aisle widths are as follows:

Angle of Parking	Aisle Width	
	One-Way (feet)	Two-Way (feet)
Parallel	12	20
30	12	22
45	12	22
60	18	24
90	22	24

- (4) Parking angle. Parking must be developed throughout the site utilizing the same degree of angle. The mixture of one-way and two-way parking aisles, or different degrees of angled parking within any parking area is prohibited except:
- a. A single bay of parking provided along the perimeter of the site may vary in design in order to maximize the number of spaces provided on-site.
 - b. Parking design may vary between individual parking areas provided that the parking areas are physically separated from one another by buildings or a continuous landscape buffer a minimum of five feet in width. The Director may approve a minimum number of vehicle access points to pass through the landscaped buffer.

(Zoning Ord. 1993, § 202.16(F); Ord. No. 93-24, § 5B, 9-15-93; Ord. No. 96-17, § 5, 9-18-96; Ord. No. [12-20](#), § 4, 9-11-12; Ord. No. [13-10](#), § 10, 5-28-13; Ord. No. [14-13](#), § 7, 6-17-14)

Miami-Dade County

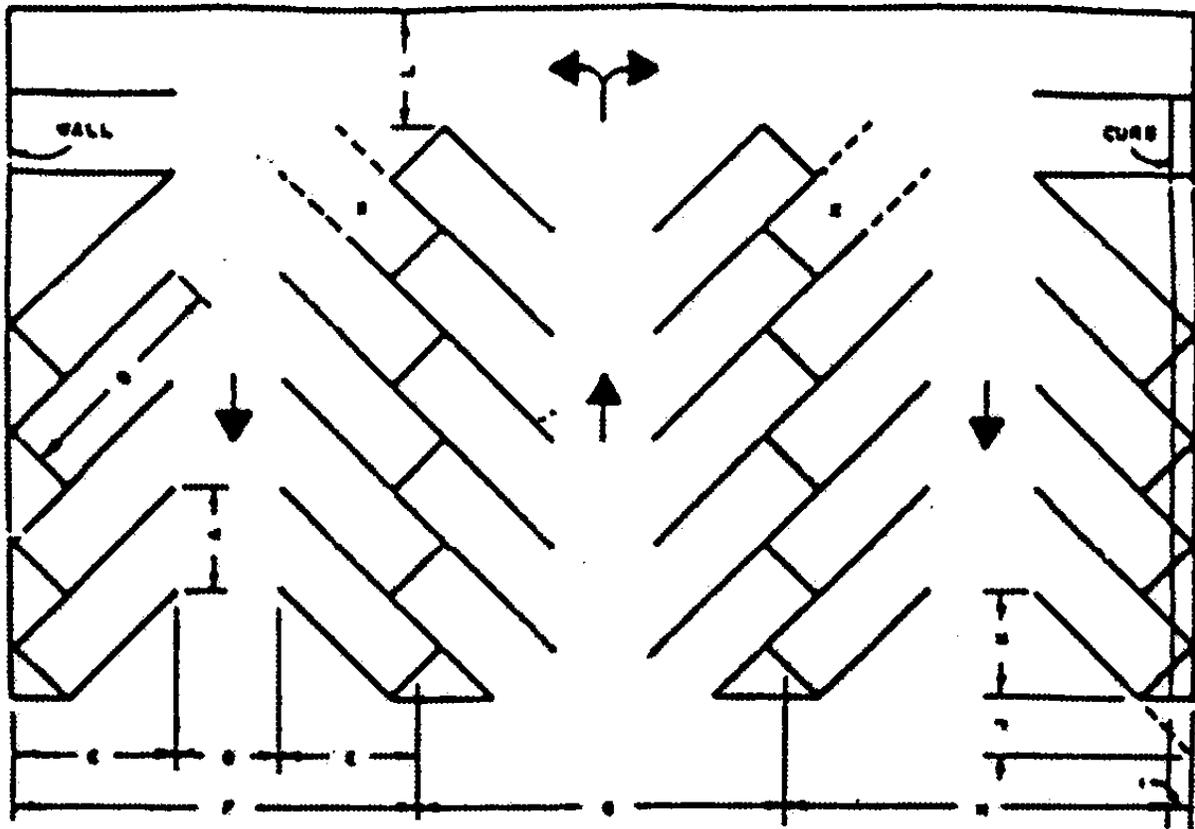


Sec. 33-122. - Required; definitions of parking space.

Permanently maintained off-street parking for vehicles shall be provided in connection with any building or premises used or designed to be used for the purposes set forth in this article. Parking spaces on private roadways shall not be credited towards required parking. For the purpose of this article, each parking space shall be a minimum of eight and one-half (8.5) by eighteen (18) feet with the following exceptions:

- (1) Where parking spaces for the handicapped are to be provided, they shall be a minimum of eighteen (18) feet long and the width and quality shall be in accordance with the South Florida Building Code.

Parking stall and aisle dimensions shall conform to the charts entitled "Minimum Parking Stall Dimension" and "Striping Detail" hereby incorporated as part of this section.



● = STALL NOT ACCESSIBLE IN CERTAIN LAYOUTS

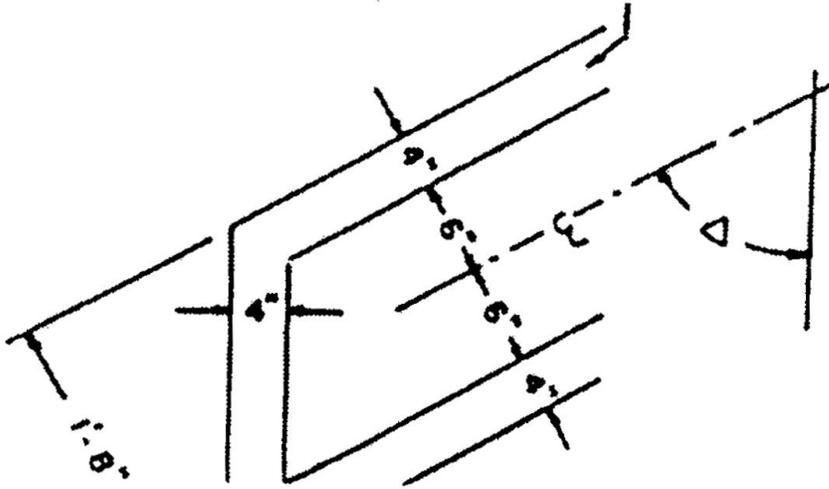
MINIMUM PARKING STALL DIMENSIONS (IN FEET)
AT VARIOUS ANGLES

Dimension	Symbol	(8.5' × 18')			
		45°	60°	75°	90°
Stall width, parallel to aisle	A	12.0	9.8	8.8	8.5
Stall length of line	B	26.5	22.9	20.3	18.0
Stall depth to wall	C	18.7	19.8	19.6	18.0
Aisle width between stall lines	D	12.0	17.0	21.0	22.0
Stall depth, interlock	E	15.7	17.7	18.5	18.0
Module, wall to interlock	F	46.5	54.6	59.1	58.0
Module, interlocking	G	43.5	52.4	58.0	58.0
Module, interlock to curb face	H	44.7	52.4	56.7	55.5
Bumper overhang (typical)	I	1.8	2.2	2.4	2.5
Offset	J	6.0	2.5	0.6	0.0
Setback	K	12.7	9.0	4.7	0.0
Driveways	L	**	**	**	**

For parallel parking minimum widths and length are 8.0' × 23.0'.

** Driveways where there is no parking on either side shall be a minimum of twenty (20) feet in width for two-way traffic and fourteen (14) feet for one-way traffic. Access drives between the paved portion of the right-of-way and the property line shall comply with the Miami-Dade County public works manual.

SOLID COLOR CONTRASTING WITH PAVEMENT



For all occupancies other than residential, the parking spaces shall be marked with double striping on each side of the space to identify and facilitate their use. All striping shall be of a color (typically white) contrasting with the pavement. Dimension requirements, as noted elsewhere, shall be measured to the center point of the double stripe, as shown on the "Striping Detail" hereby incorporated as part of this section. Notwithstanding the above provisions and striping details, where striping is required for residential users, not less than a single four-inch stripe shall be provided, with parking stall dimensions to be measured to the center line of the strip. In all instances, adequate interior driveways and ingress and egress driveways shall be provided to connect all parking spaces with a public right-of-way or alley. Where a parking space heads into and abuts a walkway, the paved eighteen-foot length shall be provided a wheel stop or curb at sixteen (16) feet in order to prevent extension of the vehicle over any portion of the provided walkway width. Required and surplus parking shall comply with these provisions and such parking shall not be placed in dedicated or official rights-of-way.

(Ord. No. 57-19, § 5(BB), 10-22-57; Ord. No. 69-71, § 1, 10-8-69; Ord. No. 80-116, § 1, 10-21-80; Ord. No. 83-40, § 1, 6-7-83; Ord. No. 85-19, § 1, 4-2-85; Ord. No. 91-36, § 1, 3-19-91)

APPENDIX B

Accessible (Handicap) Parking Requirements

Americans with Disabilities Act (ADA)
Florida Building Code



Americans with Disabilities Act (ADA)



- EXCEPTIONS:** 1. Where means of egress are permitted by local *building* or life safety codes to share a common path of egress travel, *accessible means of egress* shall be permitted to share a common path of egress travel.
2. Areas of refuge shall not be required in detention and correctional *facilities*.

207.2 Platform Lifts. Standby power shall be provided for platform lifts permitted by section 1003.2.13.4 of the International Building Code (2000 edition and 2001 Supplement) or section 1007.5 of the International Building Code (2003 edition) (incorporated by reference, see “Referenced Standards” in Chapter 1) to serve as a part of an *accessible means of egress*.

208 Parking Spaces

208.1 General. Where parking *spaces* are provided, parking *spaces* shall be provided in accordance with 208.

EXCEPTION: Parking *spaces* used exclusively for buses, trucks, other delivery vehicles, law enforcement vehicles, or vehicular impound shall not be required to comply with 208 provided that lots accessed by the public are provided with a passenger loading zone complying with 503.

208.2 Minimum Number. Parking *spaces* complying with 502 shall be provided in accordance with Table 208.2 except as required by 208.2.1, 208.2.2, and 208.2.3. Where more than one parking *facility* is provided on a *site*, the number of *accessible spaces* provided on the *site* shall be calculated according to the number of *spaces* required for each parking *facility*.

Table 208.2 Parking Spaces

Total Number of Parking Spaces Provided in Parking Facility	Minimum Number of Required Accessible Parking Spaces
1 to 25	1
26 to 50	2
51 to 75	3
76 to 100	4
101 to 150	5
151 to 200	6
201 to 300	7
301 to 400	8
401 to 500	9
501 to 1000	2 percent of total
1001 and over	20, plus 1 for each 100, or fraction thereof, over 1000

CHAPTER 5: GENERAL SITE AND BUILDING ELEMENTS

501 General

501.1 Scope. The provisions of Chapter 5 shall apply where required by Chapter 2 or where referenced by a requirement in this document.

502 Parking Spaces

502.1 General. Car and van parking *spaces* shall comply with 502. Where parking *spaces* are marked with lines, width measurements of parking *spaces* and access aisles shall be made from the centerline of the markings.

EXCEPTION: Where parking *spaces* or access aisles are not adjacent to another parking *space* or access aisle, measurements shall be permitted to include the full width of the line defining the parking *space* or access aisle.

502.2 Vehicle Spaces. Car parking *spaces* shall be 96 inches (2440 mm) wide minimum and van parking *spaces* shall be 132 inches (3350 mm) wide minimum, shall be marked to define the width, and shall have an adjacent access aisle complying with 502.3.

EXCEPTION: Van parking *spaces* shall be permitted to be 96 inches (2440 mm) wide minimum where the access aisle is 96 inches (2440 mm) wide minimum.

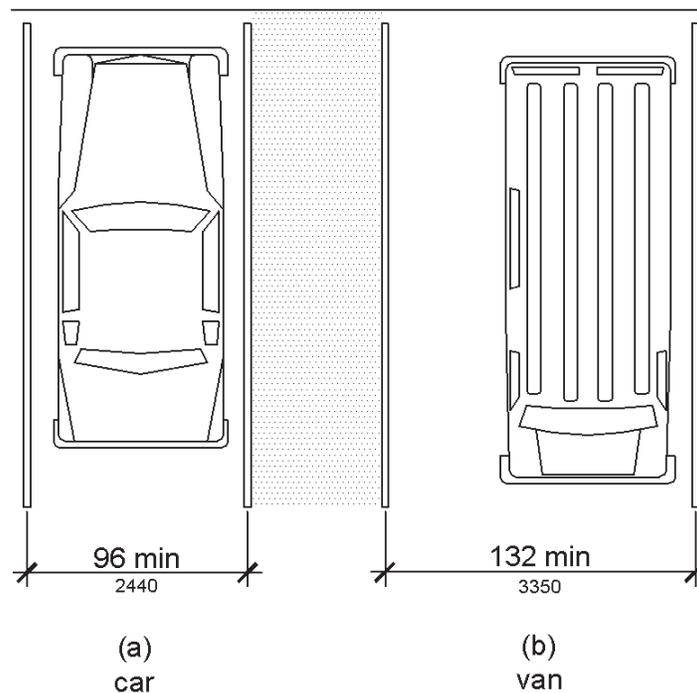


Figure 502.2
Vehicle Parking Spaces

502.3 Access Aisle. Access aisles serving parking spaces shall comply with 502.3. Access aisles shall adjoin an *accessible* route. Two parking spaces shall be permitted to share a common access aisle.

Advisory 502.3 Access Aisle. Accessible routes must connect parking spaces to accessible entrances. In parking facilities where the accessible route must cross vehicular traffic lanes, marked crossings enhance pedestrian safety, particularly for people using wheelchairs and other mobility aids. Where possible, it is preferable that the accessible route not pass behind parked vehicles.

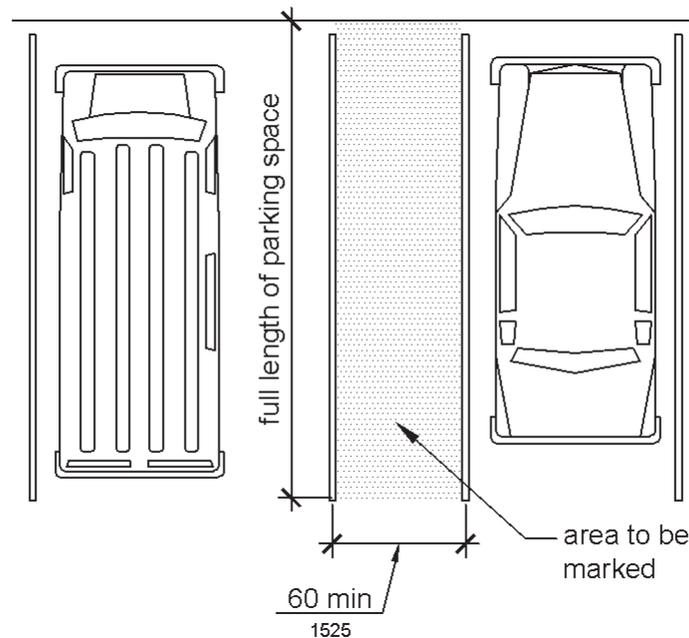


Figure 502.3
Parking Space Access Aisle

502.3.1 Width. Access aisles serving car and van parking spaces shall be 60 inches (1525 mm) wide minimum.

502.3.2 Length. Access aisles shall extend the full length of the parking spaces they serve.

502.3.3 Marking. Access aisles shall be marked so as to discourage parking in them.

Advisory 502.3.3 Marking. The method and color of marking are not specified by these requirements but may be addressed by State or local laws or regulations. Because these requirements permit the van access aisle to be as wide as a parking space, it is important that the aisle be clearly marked.

Florida Building Code



Florida Building Code-Accessible Parking Requirements

11-4.6 Parking and passenger loading zones.

11-4.6.1 Minimum number. Parking spaces required to be accessible by Section 11-4.1 shall comply with Sections 11-4.6.2 through Section 11-4.6.5. Passenger loading zones required to be accessible by Section 11-4.1 shall comply with Section 11-4.6.5 and 11-4.6.6.

11-4.6.2 Location. Accessible parking spaces serving a particular building shall be located on the shortest safely accessible route of travel from adjacent parking to an accessible entrance. In parking facilities that do not serve a particular building, accessible parking shall be located on the shortest accessible route of travel to an accessible pedestrian entrance of the parking facility. In buildings with multiple accessible entrances with adjacent parking, accessible parking spaces shall be dispersed and located closest to the accessible entrances.

(1) All spaces must be located on an accessible route no less than 44 inches (1118 mm) wide so that users will not be compelled to walk or wheel behind parked vehicles.

(2) If a theme park or entertainment complex [as defined in Section 509.013(9), see definitions] provides parking in several lots or areas from which access to the theme park or entertainment complex is provided, a single lot or area may be designated for parking by persons who have disabilities, if the lot or area is located on the shortest safely accessible route to an accessible entrance to the theme park or entertainment complex or to transportation to such accessible entrance.

(3) On-street parallel parking spaces must be located either at the beginning or end of a block or adjacent to alley entrances.

11-4.6.3 Parking spaces. Each parking space must be no less than 12 feet (3658 mm) wide. Parking access aisles must be no less than 5 feet (1524 mm) wide and must be part of an accessible route to the building or facility entrance. Two accessible spaces may share a common access aisle [see Figure 9(a)]. The access aisle shall be striped diagonally to designate it as a no-parking zone. Curb ramps must be located outside of the disabled parking spaces and access aisles.

Exception: If a theme park or entertainment complex in which are provided continuous attendant services for directing individuals to marked accessible parking spaces or designated lots for parking by persons who have disabilities, the park or complex may provide parking spaces that comply with the alternatives specified in Section 11-12.

Parked vehicle overhangs shall not reduce the clear width of an accessible route. Parking spaces and access aisles shall be level with surface slopes not exceeding 1:50 (2 percent) in all directions.

Parallel parking spaces must be even with surface slopes, may match the grade of the adjacent travel lane, and must not exceed a cross slope of 1:50, where feasible. Such spaces shall be designed per Sections 11-4.6.2 through 11-4.6.5.

Exception: Access aisles are not required.

Curbs adjacent to such spaces must be of a height that will not interfere with the opening and closing of motor vehicle doors.

11-4.6.4 Signage. Each accessible parking space must be prominently outlined with blue paint, and must be repainted as necessary, to be clearly distinguishable as a parking space designated for persons who have disabilities and must be posted with a permanent above-grade sign bearing the international symbol of accessibility, meeting the requirements of color and design approved by the Department of Transportation, of Section 11-4.30.7 and the caption "PARKING BY DISABLED PERMIT ONLY." Such sign erected after October 1, 1996, must indicate the penalty for illegal use of the space.

Van accessible parking spaces located within a parking structure shall have an additional sign reading "VAN ACCESSIBLE" mounted below the symbol of accessibility. Such signs shall be located so they cannot be obscured by a vehicle parked in the space.

APPENDIX C

Downtown Parking Requirement

City of Fort Myers
City of Cape Coral
City of Coral Gables
City of Miami
City of Sarasota



City of Fort Myers



118.8.6 - Standards and Tables.

D. Uses permitted table.

	Urban General	Urban Center & Core
Residential	Open Residential: The number of dwellings on each lot is limited by the requirement of 1.5 assigned parking spaces for each dwelling, a ratio which may be reduced according to the Shared Parking Standards (section 118.8.6.F.)	Open Residential: The number of dwellings on each lot is limited by the requirement of 1.0 assigned parking spaces for each dwelling, a ratio which may be reduced according to the Shared Parking Standards (section 118.8.6.F.)
Lodging	Limited Lodging: The number of bedrooms available on each lot for lodging is limited by the requirement of 0.75 assigned parking spaces for each bedroom, up to eight, in addition to the parking requirement for the dwelling. Food service may be provided in the a.m. The maximum length of stay shall not exceed ten days.	Open Lodging: The number of bedrooms available on each lot for lodging is limited by the requirement of 0.5 assigned parking spaces for each bedroom, a ratio which may be reduced according to Shared Parking Standards (section 118.8.6.F.) Food service may be provided at all times.
Office	Limited Office: The area available for office use on each lot is limited by the requirement 1 parking space per 350 square feet of gross floor area, in addition to the parking requirement for each dwelling, if applicable.	Open Office: The area available for office use on each lot is limited by the requirement of 1 parking space per 500 square feet of gross floor area, a ratio which may be reduced according to Shared Parking Standards (section 118.8.6.F.).
Retail	Limited Retail: The area available for retail is limited to the first story of buildings at corner locations, not more than one per block, and by the requirement 1 parking space per 350 square feet of gross floor area, in addition to the parking requirement for each dwelling. The specific use shall be further limited to book store/news dealer, personal care services, limited neighborhood market, or hardware store, not exceeding 5,000 square feet of gross floor area, or food service seating no more than	Open Retail: The area available for retail use is limited by the requirement of 1 parking space per 500 square feet of gross floor area, a ratio which may be reduced according to Shared Parking Standards (section 118.8.6.F.).

	40, or child care services.	
Artisanal	Limited Artisanal: Uses are approved through the Planned Unit Development process and limited to 600 square feet within the first story of the ancillary building. Storage related to the use shall not be placed in the yard.	Limited Artisanal: Uses are approved through the Planned Unit Development process. The area available for artisanal use is limited to the principal building and a contiguous yard to its rear circumscribed by a solid masonry wall no less than eight (8) feet high.
Institutional	Institutional uses shall be permitted uses in every land use district. The particulars of institutional use shall be determined on a case-by-case basis through the planned unit development process.	Institutional uses shall be permitted uses in every land use district. The particulars of institutional use shall be determined on a case-by-case basis through the planned unit development process.

E. Required Parking Table.

	Urban General	Urban Center, Urban Core
Residential	1.5/dwelling unit	1/dwelling unit
Lodging	0.75/room	0.5/room
Office	1/350 sq. ft. of gross floor area	1/500 sq. ft. of gross floor area
Retail	1/350 sq. ft. of gross floor area	1/500 sq. ft. of gross floor area
Artisanal	by planned unit development	by planned unit development
Institutional	by planned unit development	by planned unit development
*For uses not specifically listed above, for purposes of determining the number of parking spaces required, the most similar category above shall be used to calculate the parking requirements.		

City of Cape Coral



City of Cape Coral – Land Use and Development Regulations

TABLE SC-5				
MINIMUM PARKING SOUTH CAPE DOWNTOWN DISTRICT				
<i>Applicable Lots</i>	<i>Lot Frontage/Lot Area</i>			<i>Lot Area</i>
	$\leq 75'$	$>75'$ but $< 125'$	$\geq 125'$ but $< 60,000$ s.f.	$\geq 60,000$ s.f.
Residential	1 per unit	1 per unit	<i>1 per unit</i>	<i>1 per unit</i>
Non-residential - restaurant/bar	1/500 s.f.	1/400 s.f.	<i>1/100 s.f.</i>	<i>1/100 s.f.</i>
Non-residential - hotel	0.75 per room	0.75 per room	<i>0.75 per room</i>	<i>0.75 per room</i>
Non-residential - other	1/500 s.f.	1/400 s.f.	<i>1/400 s.f.</i>	<i>1/400 s.f.</i>
Parking required on-site - residential and non-residential (b)	50%(c)	50%	75%	75%
(a) For parking area sites, minimum parking shall be as provided, less parking credits in accordance with § 2.7.15.13.a .				
(b) Satellite parking shall be provided in accordance with § 2.7.15.D.13.b .				
(c) Lots with lot frontage less than or equal to 50 feet shall not be required to provide on-site parking. Satellite parking shall be provided in accordance with § 2.7.15.D.13.b .				

City of Coral Gables



Section 5-1409. Amount of required parking.

A. Exemptions from required parking. Buildings that are located within the Central Business District (CBD) that have a floor-area-ratio of 1.25 or less (1.45 or less if Mediterranean bonus is used) are not required to provide off-street parking for any uses except residential units.

B. Calculation of parking requirements.

1. Required parking shall be provided for each use on a building site, according to the following table:

<i>Use</i>	<i>Minimum parking requirements</i>
<i>Residential</i>	
Detached dwellings.	One (1) parking space per unit consisting of a roofed structure, which utilizes the same materials as the principle structure and that is a garage, carport, or porte-cochere.
Duplex.	One (1) parking space per unit consisting of a roofed structure, which utilizes the same materials as the principle structure and that is a garage, carport, or porte-cochere.
Live work.	One (1) space per unit, plus one (1) space per three-hundred-and-fifty (350) square feet of work area.
Multi-family dwellings.	Efficiency, one (1) and two (2) bedroom units – 1.75 spaces per unit. Three (3) or more bedroom units – 2.25 spaces per unit.
Single-family.	One (1) parking space consisting of a roofed structure, which utilizes the same materials as the principle structure and that is a garage, carport, or porte-cochere.
Townhouses.	Two (2) parking spaces per unit consisting of a roofed structure, which utilizes the same materials as the principle structure and that is a garage, carport, or porte-cochere.

City of Miami



	RESTRICTED	LIMITED	OPEN
DENSITY (UPA)	36 UNITS PER ACRE	36 UNITS PER ACRE	36 UNITS PER ACRE
RESIDENTIAL	Residential Uses are permissible as listed in Table 3, limited by compliance with: <ul style="list-style-type: none"> • Minimum of 1.5 parking spaces per principal Dwelling Unit. • Ancillary Dwelling - Minimum of 1 parking space per ancillary dwelling unit. • Adult Family-Care Homes - Minimum of 1 parking space per staff member and 1 space per 4 residents. • Community Residence - Minimum of 1 parking space per staff member in addition to the parking required for the Dwelling Units. 	Residential Uses are permissible as listed in Table 3, limited by compliance with: <ul style="list-style-type: none"> • Minimum of 1.5 parking spaces per principal Dwelling Unit. • Ancillary Dwelling - Minimum of 1 parking space per ancillary dwelling unit. • Live-work - Work component shall provide parking as required by non-residential use in addition to parking required for the Dwelling Units. • Adult Family-Care Homes - Minimum of 1 parking space per staff member and 1 space per 4 residents. • Community Residence- Minimum of 1 parking space per staff member in addition to the parking required for the Dwelling Units. • Parking requirement may be reduced according to the Shared parking standard, Article 4, Table 5. • Minimum of 1 Bicycle Rack Space for every 20 vehicular spaces required. 	Residential Uses are permissible as listed in Table 3, limited by compliance with: <ul style="list-style-type: none"> • Minimum of 1.5 parking spaces per principal Dwelling Unit. • Ancillary Dwelling - Minimum of 1 parking space per ancillary dwelling unit. • Live-work - Work component shall provide parking as required by non-residential use in addition to parking required for the Dwelling Unit. • Adult Family-Care Homes - Minimum of 1 parking space per staff member and 1 space per 4 residents. • Community Residence- Minimum of 1 parking space per staff member in addition to the parking required for the Dwelling Units. • Parking requirement may be reduced according to the Shared parking standard, Article 4, Table 5. • Minimum of 1 Bicycle Rack Space for every 20 vehicular spaces required.
LODGING	<ul style="list-style-type: none"> • See City Code, Chapter 23. 	Lodging Uses are permissible as listed in Table 3, limited by compliance with: <ul style="list-style-type: none"> • Minimum of 1 parking space for every 2 lodging units. • Minimum of 1 additional visitor parking space for every 5 lodging units. • Parking requirement may be reduced according to the Shared parking standard, Article 4, Table 5. • Minimum of 1 Bicycle Rack Space for every 20 vehicular spaces required. 	Lodging Uses are permissible as listed in Table 3, limited by compliance with: <ul style="list-style-type: none"> • Minimum of 1 parking space for every 2 lodging units. • Minimum of 1 additional visitor parking space for every 5 lodging units. • Parking requirement may be reduced according to the Shared parking standard, Article 4, Table 5. • Minimum of 1 Bicycle Rack Space for every 20 vehicular spaces required.
OFFICE		Office Uses are permissible as listed in Table 3, limited by compliance with: <ul style="list-style-type: none"> • Limited to the first Story of the Principal Building or Accessory Structure; • Office and Commercial Uses shall be less than 50% Building floor area total. • Minimum of 3 parking spaces for every 1,000 square feet of office use. • Parking requirement may be reduced according to the Shared parking standard, Article 4, Table 5. • Minimum of 1 Bicycle Rack Space for every 20 vehicular spaces required. 	Office Uses are permissible as listed in Table 3, limited by compliance with: <ul style="list-style-type: none"> • Minimum of 3 parking spaces for every 1,000 square feet of office use. • Parking requirement may be reduced according to the Shared parking standard, Article 4, Table 5. • Minimum of 1 Bicycle Rack Space for every 20 vehicular spaces required.

	RESTRICTED	LIMITED	OPEN
DENSITY (UPA)	36 UNITS PER ACRE	36 UNITS PER ACRE	36 UNITS PER ACRE
COMMERCIAL		<p>Commercial Uses are permissible as listed in Table 3, limited by compliance with:</p> <ul style="list-style-type: none"> Limited to the first Story of the Principal Building or Accessory Structure; Office and Commercial Uses shall be less than 50% Building floor area total. A maximum area of 4,000 square feet per establishment. Food establishments of a maximum seating capacity of 40 patrons. Minimum of 3 parking spaces for every 1,000 square feet of commercial use. Parking requirement may be reduced according to the Shared parking standard, Article 4, Table 5. Minimum of 1 Bicycle Rack Space for every 20 vehicular spaces required. 	<p>Commercial Uses are permissible as listed in Table 3, limited by compliance with:</p> <ul style="list-style-type: none"> A maximum area of 4,000 square feet per establishment. Food establishments of a maximum seating capacity of 40 patrons. Minimum of 3 parking spaces for every 1,000 square feet of commercial use. Minimum of one Bike space for every 20 vehicular spaces required (before any reductions). Parking requirement may be reduced according to the Shared parking standard, Article 4, Table 5. Minimum of 1 Bicycle Rack Space for every 20 vehicular spaces required.
CIVIC	<p>Civic Uses are permissible as listed in Table 3.</p> <ul style="list-style-type: none"> Minimum of 1 parking space for every 5 seats of assembly use. Minimum of 1 parking space for every 1,000 square feet of exhibition or recreation area, and parking spaces for other Uses as required. Parking requirement may be reduced according to the Shared parking standard, Article 4, Table 5. Minimum of 1 Bicycle Rack Space for every 20 vehicular spaces required. 	<p>Civic Uses are permissible as listed in Table 3.</p> <ul style="list-style-type: none"> Minimum of 1 parking space for every 5 seats of assembly use. Minimum of 1 parking space for every 1,000 square feet of exhibition or recreation area, and parking spaces for other Uses as required. Parking requirement may be reduced according to the Shared parking standard, Article 4, Table 5. Minimum of 1 Bicycle Rack Space for every 20 vehicular spaces required. Parking for civic uses may be provided off-site within a distance of 1,000 feet. 	<p>Civic Uses are permissible as listed in Table 3.</p> <ul style="list-style-type: none"> Minimum of 1 parking space for every 5 seats of assembly use. Minimum of 1 parking space for every 1,000 square feet of exhibition or recreation area, and parking spaces for other Uses as required. Parking requirement may be reduced according to the Shared parking standard, Article 4, Table 5. Minimum of 1 Bicycle Rack Space for every 20 vehicular spaces required. Parking for civic uses may be provided off-site within a distance of 1,000 feet.
CIVIL SUPPORT	<p>Civil Support Uses are permissible as listed in Table 3.</p> <ul style="list-style-type: none"> Minimum of 1 parking space for every 800 square feet of Civil Support Use. Minimum of 1 parking space for every 5 seats of assembly use. 	<p>Civil Support Uses are permissible as listed in Table 3.</p> <ul style="list-style-type: none"> Minimum of 1 parking space for every 800 square feet of Civil Support Use. Adult Daycare- Minimum of 1 space per staff member. Minimum of 1 parking space for every 5 seats of assembly use. Parking requirement may be reduced according to the Shared parking standard, Article 4, Table 5. Minimum of 1 Bicycle Rack Space for every 20 vehicular spaces required. 	<p>Civil Support Uses are permissible as listed in Table 3.</p> <ul style="list-style-type: none"> Minimum of 1 parking space for every 800 square feet of Civil Support Use. Minimum of one Bike space for every 20 vehicular spaces required (before any reductions). Adult Daycare- Minimum of 1 space per staff member. Minimum of 1 parking space for every 5 seats of assembly use. Parking requirement may be reduced according to the Shared parking standard, Article 4, Table 5. Minimum of 1 Bicycle Rack Space for every 20 vehicular spaces required.
EDUCATIONAL	<p>Educational Uses are permissible as listed in Table 3.</p> <ul style="list-style-type: none"> Minimum of 3 parking spaces for every 1,000 square feet of Educational Use. Schools – Minimum of 1 parking space for each faculty or staff member, 1 visitor parking space per 100 students, 1 parking space per 5 students in grades 11 and 12. Childcare Facilities- Minimum of 1 space for the owner/operator and 1 space for each employee, and 1 drop-off space for every 10 clients cared for. 	<p>Educational Uses are permissible as listed in Table 3.</p> <ul style="list-style-type: none"> Minimum of 3 parking spaces for every 1,000 square feet of Educational Use. Schools – Minimum of 1 parking space for each faculty or staff member, 1 visitor parking space per 100 students, 1 parking space per 5 students in grades 11 and 12. Childcare Facilities- Minimum of 1 space for the owner/operator and 1 space for each employee, and 1 drop-off space for every 10 clients cared for. Parking requirement may be reduced according to the Shared parking standard, Article 4, Table 5. Minimum of 1 Bicycle Rack Space for every 20 vehicular spaces required. 	<p>Educational Uses are permissible as listed in Table 3.</p> <ul style="list-style-type: none"> Minimum of 3 parking spaces for every 1,000 square feet of Educational Use. Schools – Minimum of 1 parking space for each faculty or staff member, 1 visitor parking space per 100 students, 1 parking space per 5 students in grades 11 and 12. Childcare Facilities- Minimum of 1 space for the owner/operator and 1 space for each employee, and 1 drop-off space for every 10 clients cared for. Parking requirement may be reduced according to the Shared parking standard, Article 4, Table 5. Minimum of 1 Bicycle Rack Space for every 20 vehicular spaces required.

	RESTRICTED	LIMITED	OPEN
DENSITY (UPA)	65 UNITS PER ACRE	65 UNITS PER ACRE	65 UNITS PER ACRE
RESIDENTIAL	<p>Residential Uses are permissible as listed in Table 3, limited by compliance with:</p> <ul style="list-style-type: none"> • Minimum of 1.5 parking spaces per Dwelling Unit. • Minimum of 1 additional visitor parking space for every 10 Dwelling Units. • Adult Family-Care Homes - Minimum 1 space per staff member and 1 space per 4 residents. • Community Residence - Minimum of 1 parking space per staff member in addition to the parking required for the principal Dwelling Unit(s). • Parking requirement may be reduced according to the Shared parking standard, Article 4, Table 5. • Minimum of 1 Bicycle Rack Space for every 20 vehicular spaces required. • Parking ratio may be reduced within ½ mile radius of TOD or within ¼ mile radius of a Transit Corridor by thirty percent (30%) by process of Waiver, except when site is within 500 feet of T3. • Loading - See Article 4, Table 5 	<p>Residential Uses are permissible as listed in Table 3, limited by compliance with:</p> <ul style="list-style-type: none"> • Minimum of 1.5 parking spaces per Dwelling Unit. • Minimum of 1 additional visitor parking space for every 10 Dwelling Units. • Live-work - Work component shall provide parking as required by the non-residential use in addition to parking required for the Dwelling Unit. • Adult Family-Care Homes - Minimum 1 space per staff member and 1 space per 4 residents. • Community Residence - Minimum of 1 parking space per staff member in addition to the parking required for the principal Dwelling Unit(s). • Parking requirement may be reduced according to the Shared parking standard, Article 4, Table 5. • Minimum of 1 Bicycle Rack Space for every 20 vehicular spaces required. • Parking ratio may be reduced within ½ mile radius of TOD or within ¼ mile radius of a Transit Corridor by thirty percent (30%) by process of Waiver, except when site is within 500 feet of T3. • Parking may be provided by ownership or lease offsite within 1000 feet by process of Waiver, except when site is within 500 feet of T3. • Loading - See Article 4, Table 5 	<p>Residential Uses are permissible as listed in Table 3, limited by compliance with:</p> <ul style="list-style-type: none"> • Minimum of 1.5 parking spaces per Dwelling Unit. • Minimum of 1 additional visitor parking space for every 10 Dwelling Units. • Live-work - Work component shall provide parking as required by the non-residential use in addition to parking required for the Dwelling Unit. • Adult Family-Care Homes - Minimum 1 space per staff member and 1 space per 4 residents. • Community Residence - Minimum of 1 parking space per staff member in addition to the parking required for the principal Dwelling Unit(s). • Parking requirement may be reduced according to the Shared parking standard, Article 4, Table 5. • Minimum of 1 Bicycle Rack Space for every 20 vehicular spaces required. • Parking ratio may be reduced within ½ mile radius of TOD or within ¼ mile radius of a Transit Corridor by thirty percent (30%) by process of Waiver, except when site is within 500 feet of T3. • Parking may be provided by ownership or lease offsite within 1000 feet by process of Waiver, except when site is within 500 feet of T3. • Loading - See Article 4, Table 5
LODGING	<p>Lodging Uses are permissible as listed in Table 3.</p> <ul style="list-style-type: none"> • Minimum of 1 parking space for every 2 lodging units. • Minimum of 1 additional visitor parking space for every 10 lodging units. • Parking requirement may be reduced according to the Shared parking standard, Article 4, Table 5. • Minimum of 1 Bicycle Rack Space for every 20 vehicular spaces required. • Parking ratio may be reduced within ½ mile radius of TOD or within ¼ mile radius of a Transit Corridor by thirty percent (30%) by process of Waiver, except when site is within 500 feet of T3. • Parking may be provided by ownership or lease offsite within 1000 feet by process of Waiver, except when site is within 500 feet of T3. • Loading - See Article 4, Table 5 	<p>Lodging Uses are permissible as listed in Table 3.</p> <ul style="list-style-type: none"> • Minimum of 1 parking space for every 2 lodging units. • Minimum of 1 additional visitor parking space for every 10 lodging units. • Parking requirement may be reduced according to the Shared parking standard, Article 4, Table 5. • Minimum of 1 Bicycle Rack Space for every 20 vehicular spaces required. • Parking ratio may be reduced within ½ mile radius of TOD or within ¼ mile radius of a Transit Corridor by thirty percent (30%) by process of Waiver, except when site is within 500 feet of T3. • Parking may be provided by ownership or lease offsite within 1000 feet by process of Waiver, except when site is within 500 feet of T3. • Loading - See Article 4, Table 5 	<p>Lodging Uses are permissible as listed in Table 3.</p> <ul style="list-style-type: none"> • Minimum of 1 parking space for every 2 lodging units. • Minimum of 1 additional visitor parking space for every 10 lodging units. • Parking requirement may be reduced according to the Shared parking standard, Article 4, Table 5. • Minimum of 1 Bicycle Rack Space for every 20 vehicular spaces required. • Parking ratio may be reduced within ½ mile radius of TOD or within ¼ mile radius of a Transit Corridor by thirty percent (30%) by process of Waiver, except when site is within 500 feet of T3. • Parking may be provided by ownership or lease offsite within 1000 feet by process of Waiver, except when site is within 500 feet of T3. • Loading - See Article 4, Table 5
OFFICE		<p>Office Uses are permissible as listed in Table 3, limited by compliance with:</p> <ul style="list-style-type: none"> • The first and second Story of the Principal Building and Office and Commercial Uses shall be less than 25% Building floor area total. • Minimum of 3 parking spaces for every 1,000 square feet of office use. • Parking requirement may be reduced according to the Shared parking standard, Article 4, Table 5. • Minimum of 1 Bicycle Rack Space for every 20 vehicular spaces required. • Parking ratio may be reduced within ½ mile radius of TOD or within ¼ mile radius of a Transit Corridor by thirty percent (30%) by process of Waiver, except when site is within 500 feet of T3. • Parking may be provided by ownership or lease offsite within 1000 feet by process of Waiver, except when site is within 500 feet of T3. • Loading - See Article 4, Table 5 	<p>Office Uses are permissible as listed in Table 3, limited by compliance with:</p> <ul style="list-style-type: none"> • Minimum of 3 parking spaces for every 1,000 square feet of office use. • Parking requirement may be reduced according to the Shared parking standard, Article 4, Table 5. • Minimum of 1 Bicycle Rack Space for every 20 vehicular spaces required. • Parking ratio may be reduced within ½ mile radius of TOD or within ¼ mile radius of a Transit Corridor by thirty percent (30%) by process of Waiver, except when site is within 500 feet of T3. • Parking may be provided by ownership or lease offsite within 1000 feet by process of Waiver, except when site is within 500 feet of T3. • Loading - See Article 4, Table 5

	RESTRICTED	LIMITED	OPEN
DENSITY (UPA)	65 UNITS PER ACRE	65 UNITS PER ACRE	65 UNITS PER ACRE
COMMERCIAL		<p>Commercial Uses are permissible as listed in Table 3, limited by compliance with:</p> <ul style="list-style-type: none"> The first and second Story of the Principal Building and Office and Commercial Uses shall be less than 25% Building floor area total. A maximum area of 55,000 square feet per establishment. Minimum of 3 parking spaces for every 1,000 square feet of commercial use. Parking requirement may be reduced according to the Shared parking standard, Article 4, Table 5. Minimum of 1 Bicycle Rack Space for every 20 vehicular spaces required. Parking ratio may be reduced within ½ mile radius of TOD or within ¼ mile radius of a Transit Corridor by thirty percent (30%) by process of Waiver, except when site is within 500 feet of T3. Parking may be provided by ownership or lease offsite within 1,000 feet by process of Waiver, except when site is within 500 feet of T3. Loading - See Article 4, Table 5 	<p>Commercial Uses are permissible as listed in Table 3, limited by compliance with:</p> <ul style="list-style-type: none"> A maximum area of 55,000 square feet per establishment, except for Public Storage Facilities. Minimum of 3 parking spaces for every 1,000 square feet of commercial use, except for Public Storage Facilities, minimum 1 parking space for every 10,000 square feet with a minimum of 8 parking spaces. Parking requirement may be reduced according to the Shared parking standard, Article 4, Table 5, except for Public Storage Facilities. Minimum of 1 Bicycle Rack Space for every 20 vehicular spaces required. Parking ratio may be reduced within ½ mile radius of TOD or within ¼ mile radius of a Transit Corridor by thirty percent (30%) by process of Waiver, except when site is within 500 feet of T3. Parking may be provided by ownership or lease offsite within 1000 feet by process of Waiver, except when site is within 500 feet of T3. Loading - See Article 4, Table 5 Commercial Auto-related, Drive-Thru or Drive-In Facilities - See Article 6.
CIVIC	<p>Civic Uses are permissible as listed in Table 3, limited by compliance with:</p> <ul style="list-style-type: none"> Minimum of 1 parking space for every 5 seats of assembly uses. Minimum of 1 parking space for every 1,000 square feet of exhibition or recreation area, and parking spaces for other Uses as required. Parking requirement may be reduced according to the Shared parking standard, Article 4, Table 5. Minimum of 1 Bicycle Rack Space for every 20 vehicular spaces required. Parking ratio may be reduced within ½ mile radius of TOD or within ¼ mile radius of a Transit Corridor by thirty percent (30%) by process of Waiver, except when site is within 500 feet of T3. Parking may be provided by ownership or lease offsite within 1000 feet by process of Waiver, except when site is within 500 feet of T3. Loading - See Article 4, Table 5 	<p>Civic Uses are permissible as listed in Table 3, limited by compliance with:</p> <ul style="list-style-type: none"> Minimum of 1 parking space for every 5 seats of assembly uses. Minimum of 1 parking space for every 1,000 square feet of exhibition or recreation area, and parking spaces for other Uses as required. Parking requirement may be reduced according to the Shared parking standard, Article 4, Table 5. Minimum of 1 Bicycle Rack Space for every 20 vehicular spaces required. Parking ratio may be reduced within ½ mile radius of TOD or within ¼ mile radius of a Transit Corridor by thirty percent (30%) by process of Waiver, except when site is within 500 feet of T3. Parking may be provided by ownership or lease offsite within 1000 feet by process of Waiver, except when site is within 500 feet of T3. Loading - See Article 4, Table 5 	<p>Civic Uses are permissible as listed in Table 3, limited by compliance with:</p> <ul style="list-style-type: none"> Minimum of 1 parking space for every 5 seats of assembly uses. Minimum of 1 parking space for every 1,000 square feet of exhibition or recreation area, and parking spaces for other Uses as required. Parking requirement may be reduced according to the Shared parking standard, Article 4, Table 5. Minimum of 1 Bicycle Rack Space for every 20 vehicular spaces required. Parking ratio may be reduced within ½ mile radius of TOD or within ¼ mile radius of a Transit Corridor by thirty percent (30%) by process of Waiver, except when site is within 500 feet of T3. Parking may be provided by ownership or lease offsite within 1000 feet by process of Waiver, except when site is within 500 feet of T3. Loading - See Article 4, Table 5

	RESTRICTED	LIMITED	OPEN
DENSITY (UPA)	150 UNITS PER ACRE *	150 UNITS PER ACRE *	150 – 1,000 UNITS PER ACRE *
RESIDENTIAL	<p>Residential Uses are permissible as listed in Table 3, limited by compliance with:</p> <ul style="list-style-type: none"> • Minimum of 1.5 parking spaces per Dwelling Unit. • Minimum of 1 additional visitor parking space for every 10 Dwelling Units. • Adult Family-Care Homes - Minimum 1 space per staff member and 1 space per 4 residents. • Community Residence - Minimum of 1 parking space per staff member in addition to the parking required for the principal Dwelling Unit(s). • Parking requirement may be reduced according to the shared parking standard, Article 4, Table 5. • Minimum of 1 Bicycle Rack Space for every 20 vehicular spaces required. • Parking ratio may be reduced within ½ mile radius of TOD or within ¼ mile radius of a Transit Corridor by thirty percent (30%) by process of Waiver, except when T6 is within 500 feet of T3. • In T6-60 & T6-80, parking for residential Uses located within 1,000 feet of a Metrorail or Metromover station shall not be required. • Parking may be provided by ownership or lease offsite within 1,000 feet by process of Waiver, except when site is within 500 feet of T3. • Loading - See Article 4, Table 5 	<p>Residential Uses are permissible as listed in Table 3, limited by compliance with:</p> <ul style="list-style-type: none"> • Minimum of 1.5 parking spaces per Dwelling Unit. • Minimum of 1 additional visitor parking space for every 10 Dwelling Units. • Live-work - Work component shall provide parking as required by the non-residential use in addition to parking required for the Dwelling Unit. • Adult Family-Care Homes- Minimum 1 space per staff member and 1 space per 4 residents. • Community Residence- Minimum of 1 parking space per staff member in addition to the parking required for the principal Dwelling Unit(s). • Parking requirement may be reduced according to the shared parking standard, Article 4, Table 5. • Minimum of 1 Bicycle Rack Space for every 20 vehicular spaces required. • Parking ratio may be reduced within ½ mile radius of TOD or within ¼ mile radius of a Transit Corridor by thirty percent (30%) by process of Waiver, except when T6 is within 500 feet of T3. • In T6-60 & T6-80, parking for residential Uses located within 1,000 feet of a Metrorail or Metromover station shall not be required. • Parking may be provided by ownership or lease offsite within 1000 feet by process of Waiver, except when site is within 500 feet of T3. • Loading - See Article 4, Table 5 	<p>Residential Uses are permissible as listed in Table 3, limited by compliance with:</p> <ul style="list-style-type: none"> • Minimum of 1.5 parking spaces per Dwelling Unit. • Minimum of 1 additional visitor parking space for every 10 Dwelling Units. • Live-work - Work component shall provide parking as required by the non-residential use in addition to parking required for the Dwelling Unit. • Adult Family-Care Homes- Minimum 1 space per staff member and 1 space per 4 residents. • Community Residence- Minimum of 1 parking space per staff member in addition to the parking required for the principal Dwelling Unit(s). • Parking requirement may be reduced according to the shared parking standard, Article 4, Table 5. • Minimum of 1 Bicycle Rack Space for every 20 vehicular spaces required. • Parking ratio may be reduced within ½ mile radius of TOD or within ¼ mile radius of a Transit Corridor by thirty percent (30%) by process of Waiver, except when T6 is within 500 feet of T3. • In T6-60 & T6-80, parking for residential Uses located within 1,000 feet of a Metrorail or Metromover station shall not be required. • Parking may be provided by ownership or lease offsite within 1000 feet by process of Waiver, except when site is within 500 feet of T3. • Loading - See Article 4, Table 5
LODGING	<p>Lodging Uses are permissible as listed in Table 3.</p> <ul style="list-style-type: none"> • Minimum of 1 parking space for every 2 lodging units. • Minimum of 1 additional visitor parking space for every 10 lodging units. • Parking requirement may be reduced according to the shared parking standard, Article 4, Table 5. • Minimum of 1 Bicycle Rack Space for every 20 vehicular spaces required. • Parking ratio may be reduced within ½ mile radius of TOD or within ¼ mile radius of a Transit Corridor by thirty percent (30%) by process of Waiver, except when site is within 500 feet of T3. • Parking may be provided by ownership or lease offsite within 1,000 feet by process of Waiver, except when site is within 500 feet of T3. • Loading - See Article 4, Table 5 	<p>Lodging Uses are permissible as listed in Table 3.</p> <ul style="list-style-type: none"> • Minimum of 1 parking space for every 2 lodging units. • Minimum of 1 additional visitor parking space for every 10 lodging units. • Parking requirement may be reduced according to the shared parking standard, Article 4, Table 5. • Minimum of 1 Bicycle Rack Space for every 20 vehicular spaces required. • Parking ratio may be reduced within ½ mile radius of TOD or within ¼ mile radius of a Transit Corridor by thirty percent (30%) by process of Waiver, except when site is within 500 feet of T3. • Parking may be provided by ownership or lease offsite within 1,000 feet by process of Waiver, except when site is within 500 feet of T3. • Loading - See Article 4, Table 5 	<p>Lodging Uses are permissible as listed in Table 3.</p> <ul style="list-style-type: none"> • Minimum of 1 parking space for every 2 lodging units. • Minimum of 1 additional visitor parking space for every 15 lodging units. • Parking requirement may be reduced according to the shared parking standard, Article 4, Table 5. • Minimum of 1 Bicycle Rack Space for every 20 vehicular spaces required. • Parking ratio may be reduced within ½ mile radius of TOD or within ¼ mile radius of a Transit Corridor by thirty percent (30%) by process of Waiver, except when site is within 500 feet of T3. • Parking may be provided by ownership or lease offsite within 1,000 feet by process of Waiver, except when site is within 500 feet of T3. • Loading - See Article 4, Table 5
OFFICE		<p>Office Uses are permissible as listed in Table 3, limited by compliance with:</p> <ul style="list-style-type: none"> • The Building area allowed for office use on each lot is limited to four Stories of the Principal Building and Office and Commercial Uses shall be less than 25% of Building floor area total. • Minimum of 3 parking spaces for every 1,000 square feet of office use. • In T6-24, T6-36 and T6-48 a minimum of 1 parking space for every 800 square feet of office use shall be provided • In T6-60 and T6-80, a minimum of 1 parking space for every 1,000 square feet of office use shall be provided • Parking requirement may be reduced according to the Shared Parking Standard, Article 4, Table 5. • Minimum of 1 Bicycle Rack Space for every 20 vehicular spaces required. • Parking ratio may be reduced within ½ mile radius of TOD or within ¼ mile radius of a Transit Corridor by thirty percent (30%) by process of Waiver, except when site is within 500 feet of T3. • Parking may be provided by ownership or lease offsite within 1,000 feet by process of Waiver, except when site is within 500 feet of T3. • Loading - See Article 4, Table 5 	<p>Office Uses are permissible as listed in Table 3.</p> <ul style="list-style-type: none"> • Minimum of 3 parking spaces for every 1,000 square feet of office use. • In T6-24, T6-36 and T6-48, a minimum of 1 parking space for every 800 square feet of office use shall be provided • In T6-60 and T6-80, a minimum of 1 parking space for every 1,000 square feet of office use shall be provided • Parking requirement may be reduced according to the shared parking standard, Article 4, Table 5. • Minimum of 1 Bicycle Rack Space for every 20 vehicular spaces required. • Parking ratio may be reduced within ½ mile radius of TOD or within ¼ mile radius of a Transit Corridor by thirty percent (30%) by process of Waiver, except when site is within 500 feet of T3. • Parking may be provided by ownership or lease offsite within 1,000 feet by process of Waiver, except when site is within 500 feet of T3. • Loading - See Article 4, Table 5

* Or as modified in Diagram 9

	RESTRICTED	LIMITED	OPEN
DENSITY (UPA)	150 UNITS PER ACRE *	150 UNITS PER ACRE *	150 UNITS PER ACRE *
COMMERCIAL	<p>Commercial Uses are permissible as listed in Table 3, limited by compliance with:</p> <ul style="list-style-type: none"> Commercial establishments limited to a maximum area of 4,000 square feet each and shall be less than 25% building floor area total. The Building area allowed for commercial use on each lot is limited to the first two Stories of the Principal Building. Minimum of 3 parking spaces for every 1,000 square feet of commercial use. Parking requirement may be reduced according to the shared parking standard, Article 4, Table 5. Minimum of 1 Bicycle Rack Space for every 20 vehicular spaces required. Loading - See Article 4, Table 5 	<p>Commercial Uses are permissible as listed in Table 3, limited by compliance with:</p> <ul style="list-style-type: none"> The Building area allowed for Commercial Use on each lot is limited to two Stories of the Principal Building and Office and Commercial Uses shall be less than 25% of Building floor area total. A maximum area of 55,000 square feet per establishment. Minimum of 3 parking spaces for every 1,000 square feet of commercial use. Parking requirement may be reduced according to the shared parking standard, Article 4, Table 5. Minimum of 1 Bicycle Rack Space for every 20 vehicular spaces required. Parking ratio may be reduced within ½ mile radius of TOD or within ¼ mile radius of a Transit Corridor by thirty percent (30%) by process of Waiver, except when site is within 500 feet of T3. Parking may be provided by ownership or lease offsite within 1,000 feet by process of Waiver, except when site is within 500 feet of T3. Loading - See Article 4, Table 5 	<p>Commercial Uses are permissible as listed in Table 3, limited by compliance with:</p> <ul style="list-style-type: none"> A maximum area of 55,000 square feet per establishment, except for Public Storage Facilities. Minimum of 3 parking spaces for every 1,000 square feet of commercial use, except for Public Storage Facilities, minimum 1 parking space for every 10,000 square feet with a minimum of 8 parking spaces. Parking requirement may be reduced according to the Shared parking standard, Article 4, Table 5, except for Public Storage Facilities. Minimum of 1 Bicycle Rack Space for every 20 vehicular spaces required. Auto-related - Drive-Thru or Drive-In Facilities - See Article 6. Parking ratio may be reduced within ½ mile radius of TOD or within ¼ mile radius of a Transit Corridor by thirty percent (30%) by process of Waiver, except when site is within 500 feet of T3. Parking may be provided by ownership or lease offsite within 1,000 feet by process of Waiver, except when site is within 500 feet of T3. Loading - See Article 4, Table 5
CIVIC	<p>Civic Uses are permissible as listed in Table 3, limited by compliance with:</p> <ul style="list-style-type: none"> Minimum of 1 parking space for every 5 seats of assembly uses. Minimum of 1 parking space for every 1,000 square feet of exhibition or recreation area, and parking spaces for other Uses as required. Parking requirement may be reduced according to the shared parking standard, Article 4, Table 5. Minimum of 1 Bicycle Rack Space for every 20 vehicular spaces required. Loading - See Article 4, Table 5 	<p>Civic Uses are permissible as listed in Table 3, limited by compliance with:</p> <ul style="list-style-type: none"> Minimum of 1 parking space for every 5 seats of assembly uses. Minimum of 1 parking space for every 1,000 square feet of exhibition or recreation area, and parking spaces for other Uses as required. Parking requirement may be reduced according to the shared parking standard, Article 4, Table 5. Minimum of 1 Bicycle Rack Space for every 20 vehicular spaces required. Parking ratio may be reduced within ½ mile radius of TOD or within ¼ mile radius of a Transit Corridor by thirty percent (30%) by process of Waiver, except when site is within 500 feet of T3. Parking may be provided by ownership or lease offsite within 1,000 feet by process of Waiver, except when site is within 500 feet of T3. Loading - See Article 4, Table 5 	<p>Civic Uses are permissible as listed in Table 3, limited by compliance with:</p> <ul style="list-style-type: none"> Minimum of 1 parking space for every 5 seats of assembly uses. Minimum of 1 parking space for every 1,000 square feet of exhibition or recreation area, and parking spaces for other Uses as required. Parking requirement may be reduced according to the shared parking standard, Article 4, Table 5. Minimum of 1 Bicycle Rack Space for every 20 vehicular spaces required. Parking ratio may be reduced within ½ mile radius of TOD or within ¼ mile radius of a Transit Corridor by thirty percent (30%) by process of Waiver, except when site is within 500 feet of T3. Parking may be provided by ownership or lease offsite within 1,000 feet by process of Waiver, except when site is within 500 feet of T3. Loading - See Article 4, Table 5
CIVIL SUPPORT	<p>Civil Support Uses are permissible as listed in Table 3, limited by compliance with:</p> <ul style="list-style-type: none"> Minimum of 1 parking space for every 800 square feet of Civil Support Use; or Minimum of 1 parking space for every 5 seats of assembly use; or Minimum of 1 parking space for every 5 slips of marine use; or Parking requirement may be reduced according to the shared parking standard, Article 4, Table 5. Minimum of 1 Bicycle Rack Space for every 20 vehicular spaces required. Parking ratio may be reduced within ½ mile radius of TOD or within ¼ mile radius of a Transit Corridor by thirty percent (30%) by process of Waiver, except when site is within 500 feet of T3. Loading - See Article 4, Table 5 	<p>Civil Support Uses are permissible as listed in Table 3, limited by compliance with:</p> <ul style="list-style-type: none"> Minimum of 1 parking space for every 1000 square feet of Civil Support Use. Minimum of 1 parking space for every 5 seats of assembly use. Minimum of 1 parking space for every 5 slips of marine use. Adult Daycare - Minimum of 1 space per staff member. Parking requirement may be reduced according to the shared parking standard, Article 4, Table 5. Minimum of 1 Bicycle Rack Space for every 20 vehicular spaces required. Parking ratio may be reduced within ½ mile radius of TOD or within ¼ mile radius of a Transit Corridor by thirty percent (30%) by process of Waiver, except when site is within 500 feet of T3. Parking may be provided by ownership or lease offsite within 1,000 feet by process of Waiver, except when site is within 500 feet of T3. Loading - See Article 4, Table 5 	<p>Civil Support Uses are permissible as listed in Table 3, limited by compliance with:</p> <ul style="list-style-type: none"> Minimum of 1 parking space for every 1000 square feet of Civil Support Use. Minimum of 1 parking space for every 5 seats of assembly use. Minimum of 1 parking space for every 5 slips of marine use. Adult Daycare - Minimum of 1 space per staff member. Parking requirement may be reduced according to the shared parking standard, Article 4, Table 5. Minimum of 1 Bicycle Rack Space for every 20 vehicular spaces required. Parking ratio may be reduced within ½ mile radius of TOD or within ¼ mile radius of a Transit Corridor by thirty percent (30%) by process of Waiver, except when site is within 500 feet of T3. Parking may be provided by ownership or lease offsite within 1,000 feet by process of Waiver, except when site is within 500 feet of T3. Loading - See Article 4, Table 5

* Please refer to Diagram 9

City of Sarasota



Sec. VII-206. - Off-street parking requirements in specific zone districts.

Unless otherwise reduced by other provisions in this Code, the off-street parking requirements set forth in section VII-204 may be reduced as follows in the specified zoning districts and for the following specified uses:

(8) Downtown zone districts: DTN, DTNE, DTE, DTC and DTB. The following standards supersede where in conflict with other parking provisions.

	DTN	DTNE and DTE	DTC and DTB
a. Required parking			
-Residential	1.5 spaces for each dwelling unit	1.0 space for each dwelling unit	1.0 space for each dwelling unit
-Nonresidential	1.0 space for each 350 sq. ft. of floor area	1.0 space for each 500 sq. ft. of floor area	1.0 space for each 500 sq. ft. of floor area
-Transient lodging	1.0 space for each guest unit	0.5 space for each guest unit	0.5 space for each guest unit
-Bicycle	See VII-204	See VII-204	See VII-204
b. Exceptions to required parking	<p>Nonresidential uses of less than 1,000 sq. ft. floor area shall not be required to provide off-street parking.</p> <p>Locally designated historic buildings shall not be required to provide parking in addition to that which exists.</p> <p>Accessory dwelling units shall not be required to provide off-street parking.</p>	<p>Liner buildings and independent buildings of less than 10,000 sq. ft. floor area shall not be required to provide off-street parking.</p> <p>On-street parking along the corresponding frontage lines shall be counted toward fulfilling the parking requirements.</p> <p>Locally designated historic buildings shall not be required to provide parking in addition to that which exists.</p>	<p>Liner buildings and independent buildings of less than 10,000 sq. ft. floor area shall not be required to provide off-street parking.</p> <p>On-street parking along the corresponding frontage lines shall be counted toward fulfilling the parking requirements.</p> <p>Locally designated historic buildings shall not be required to provide parking in addition to that which exists.</p>

APPENDIX D

City of Fort Myers
Land Development Code

Section 86-69
Parking in Residential Areas



Sec. 86-69. - Parking in residential areas.

- (a) No person shall allow a vehicle to stop, stand or park in residential areas, except as follows:
 - (1) Single-family residential properties. All parking or storage of vehicles at single-family residential properties shall occur only on the driveway or permitted improved parking surface of the lot upon which the residential structure is located. Such parking or storage shall comply with the driveway width requirements as set forth in section 134-53.
 - (2) Multiple-family properties. Unless otherwise parked or stored in an enclosed structure, the parking or storage of automobiles in connection with occupants of multiple-family dwelling units shall be limited to impervious surface areas of the lot designated and permitted for the parking and storage of automobiles.
- (b) Legal nonconforming lots, tracts or parcels of land that were otherwise lawful prior to May 17, 2004, shall comply with the requirements of this section within 90 days. If no driveway or improved parking surface previously existed, property owners may designate a driveway area by obtaining a permit to include the use of shell, or pre-cast wheelstops.

(Code 1991, § 17-49; Ord. No. 3080, § 1, 8-5-2002; Ord. No. 3203, § 1, 5-17-2004)

APPENDIX E

City of Fort Myers
Land Development Code

Section 86-61
Parking of Commercial Vehicles in Residential Districts

Section 86-66
Prohibited in Specific Places



Sec. 86-61. - Parking of commercial vehicles in residential districts.

It shall be unlawful for any person in a residential district of the city to park any commercial vehicle of a size of 1½ tons or larger for a period of time in excess of two hours, except when loading or unloading.

(Code 1963, § 23-11; Code 1991, § 17-41)

Sec. 86-66. - Prohibited in specified places.

- (a) Except when necessary to avoid conflict with other traffic or in compliance with law or the directions of a police officer or official traffic control device, no person shall:
- (1) Stop, stand or park a vehicle:
 - a. On the roadway side of any vehicle stopped or parked at the edge or curb of a street.
 - b. On a sidewalk.
 - c. Within an intersection.
 - d. On a crosswalk.
 - e. Between a safety zone and the adjacent curb or within 30 feet of points on the curb immediately opposite the ends of a safety zone.
 - f. Alongside or opposite any street excavation or obstruction when stopping, standing or parking would obstruct traffic.
 - g. Upon any bridge or other elevated structure upon a roadway or within a roadway tunnel.
 - h. On any railroad tracks.
 - i. At any place prohibited by official signs.
 - j. In any area where the curb is visibly painted with yellow paint.
 - k. Within an alley for over 15 minutes unless there is left available not less than nine feet of the width of the roadway for the free movement of vehicular traffic.
 - l. Where signs are erected upon approach to hazardous or congested places.
 - m. Within any parking space specifically designated and marked for disabled or handicapped persons, except those persons so authorized under F.S. §§ 316.1955 and 316.1956.
 - n. Upon those streets which have been marked or signed for parallel parking, other than parallel with the edge of the roadway headed in the direction of the traffic flow, and with the curbside wheels of the vehicle within 12 inches of the edge of the roadway, except as provided in section 86-62.
 - o. In such manner as to obstruct the free use of the streets by other vehicles or in such manner as to impede proper parking by any other vehicle or to impede traffic on the streets.
 - p. For any purpose or length of time, other than for visible, easily distinguishable and expeditious unloading and delivery or pickup and loading of materials, park in any place marked as a loading zone, including:
 1. Loading zones within the downtown on-street metered parking area, with 30-minute maximum loading or unloading, for commercial or clearly distinguishable business vehicles only, enforced Monday through Sunday, 24 hours per day; and in no case shall the stop for loading and unloading of materials exceed 30 minutes; and
 2. Loading zones within the downtown on-street metered parking area, with two-hour maximum loading or unloading, for commercial vehicles over 40 feet in length, and shall be enforced Monday through Friday, from 7:30 a.m. to 5:00 p.m.
 - q. In any area designated as a fire lane, except for the purpose of loading or unloading handicapped passengers.
 - r. Relocate a vehicle from one parking space to another parking space in the time zone enforcement restricted areas, which are defined as non-metered areas with posted time restrictions, after a time period which exceeds the posted time restrictions, within the same

day from 7:30 a.m. until 5:00 p.m. Monday through Friday. It shall be unlawful to roll the tires of a vehicle to remove or obscure or attempt to remove or obscure the markings made by parking enforcement personnel.

- (2) Stand or park a vehicle, whether occupied or not, except momentarily to pick up or discharge a passenger:
 - a. Within ten feet of a public or private driveway.
 - b. Within 15 feet of a fire hydrant.
 - c. Within 20 feet of a crosswalk at an intersection.
 - d. Within 30 feet upon the approach to any flashing signal, stop sign or traffic control signal located at the side of a roadway.
 - e. Within 20 feet of the driveway entrance to any fire station, and on the side of a street opposite the entrance to any fire station, within 75 feet of such entrance (when properly signposted).
 - f. At any place where official signs prohibit standing.
 - g. The driver of a bus or taxicab shall not stand or park a vehicle upon any street in any business district at any place other than a bus stop or taxicab stand, respectively.
 - h. No person shall stop, stand or park a vehicle other than a bus in a bus stop or other than a taxicab in a taxicab stand, when any such stop or stand has been officially designated and appropriately signed.
- (3) Park a vehicle, whether occupied or not, except temporarily for the purpose of, and while actually engaged in, loading or unloading merchandise or passengers:
 - a. Within 50 feet of the nearest rail of a railroad crossing.
 - b. At any place where official signs prohibit parking.
- (b) No person shall move a vehicle not lawfully under his control into any such prohibited area or away from a curb such a distance as is lawful.

(Code 1963, § 23-44; Code 1991, § 17-46; Ord. No. 2684, § 1, 5-17-1993; Ord. No. 3091, § 2, 10-21-2002; Ord. No. 3146, § 1, 10-6-2003; Ord. No. 3213, § 1, 8-19-2004; Ord. No. 3231, § 1, 10-4-2004)

State Law reference— Parking, F.S. § 316.1945.